

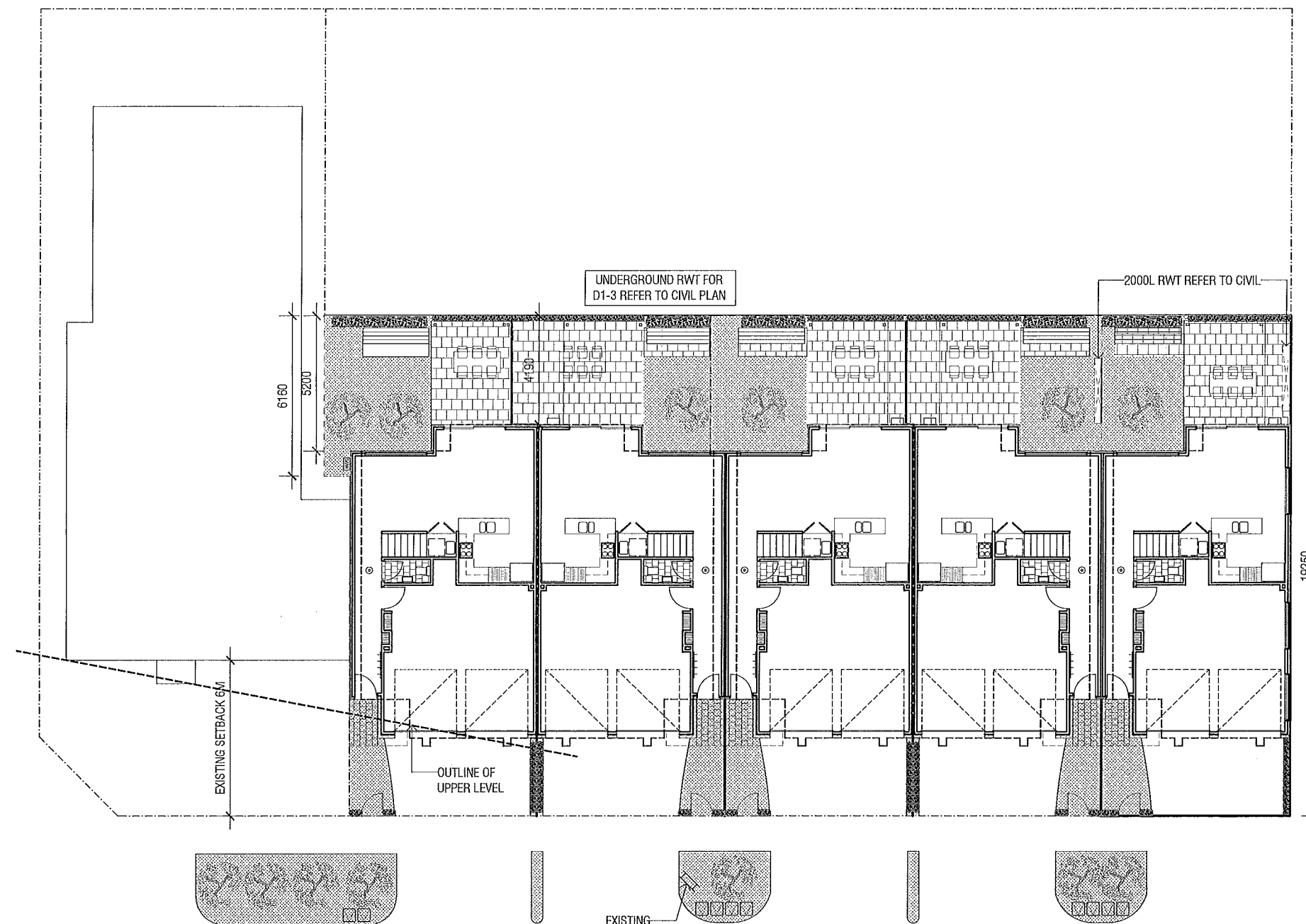


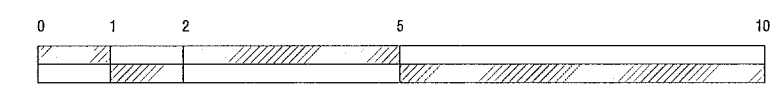
17A GAMEAU RD, PARADISE

CLIENT: GLEN VOLLEBREGT		ISSUE: B.	DRAWN BY: RV	DRAWING No: 01 of 21	ISSUE A	AMENDMENT PRELIMINARY ISSUE	DATE 15.04.2018	AMENDMENT	DATE	THESE DRAWINGS ARE COPYRIGHT AND RESERVED BY THREE SIX FIVE STUDIO. REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT
PROJECT: PROPOSED DEVELOPMENT		JOB NUMBER: 016-04-18/WD01			B	WORKING DRAWINGS	25.04.2018			
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GENERAL NOTES:			BRUSH FENCE NOTE:				ELECTRICAL NOTE:			
365 STUDIO PTY LTD. HEREBY TAKES NO RESPONSIBILITY FOR ANY STRUCTURAL DESIGN OR DETAILS IF CHANGES OR ALTERNATIONS ARE MADE TO THE PLANS DURING OR PRIOR TO CONSTRUCTION WITHOUT WRITTEN NOTICE AND APPROVAL.			THERE WILL NOT BE ANY BRUSH FENCES WITHIN 3M OF THE PROPOSED BUILDING WORKS. ANY BRUSH FENCES THAT ARE WITHIN 3M OF THE PROPOSED WORKS/DWELLING ARE TO BE REMOVED BY THE OWNER & REPLACED WITH A NON-COMBUSTIBLE MATERIAL THAT MUST COMPLY WITH BCA REQUIREMENTS				ALL ELECTRICAL WORK CARRIED OUT, TO BE IN ACCORDANCE WITH AS 3000.			
BUILDER/CONSTRUCTOR IS RESPONSIBLE TO CHECK AND CONFIRM ALL DRAWINGS AND DETAILS PRIOR TO ORDERING ANY MATERIALS AND OR QUOTING OF PROJECT AND OR COMMENCEMENT OF ANY CONSTRUCTION. 365 STUDIO DO NOT ACCEPT ANY RESPONSIBILITY FOR ERRORS AND OR OMISSIONS.			REFER TO ENGINEERS CIVIL PLAN FOR ALL LEVELS, RETAINING WALLS AND STORMWATER DRAINAGE PLAN				WINDOW AND DOOR NOTE:			
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS PRIOR TO ANY WORK ON SITE IS CONDUCTED			WET AREA NOTE:				ALL CARE HAS BEEN TAKEN, HOWEVER IT IS THE BUILDERS RESPONSIBILITY TO CHECK AND VERIFY ALL WINDOWS AND DOORS DIMENSIONS PRIOR TO CONSTRUCTION AND ORDERS AS NO RESPONSIBILITY CAN BE ACCEPTED FOR ANY ERRORS OR OMISSIONS.			
DO NOT SCALE OFF THE PLANS. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS			WET AREA CONSTRUCTION, WATERPROOFING AND TILING SHALL COMPLY WITH MINISTERS SPECIFICATION, AS3740, ART 3.8.1 AND SA 3 OF VOL. 2				FIRST FLOOR OPENING - ALL BEDROOM WINDOWS OPENINGS BELOW 1700mm AFL TO FIRST FLOOR TO BE RESTRICTED AND HAVE A MAXIMUM OPENING OF NO MORE THAN 125MM.			
TERMITE PROTECTION SHALL COMPLY WITH AS3660.1-2014, PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3660.1-2014 STATING METHOD OF APPLICATION AND CERTIFICATE OF COMPLETION.			REFER TO INDEPENDENT ENERGY EFFICIENCY REPORT FOR ALL INSULATION AND GLAZING REQUIREMENTS				A/C UNIT & PLUMBING STACK NOTE:			
EXTENSION/ADDITION: BUILDER TO PROVIDE DETAILS ON CURRENT TERMITE PROTECTION OF EXISTING DWELLING. IF NO TERMITE PROTECTION IS RECORDED THEN BUILDER TO ARRANGE INSPECTION/TREATMENT PRIOR AND DURING CONSTRUCTION.			EXHAUST FANS SERVING A CONDITIONED SPACE OR A HABITABLE ROOM BE FITTED WITH SELF CLOSING DEVICE SUCH AS SELF CLOSING DAMPER.				BUILDER TO CONFIRM LOCATIONS OF ALL A/C DUCT VOIDS AND PLUMBING STACKS PRIOR TO ANY CONSTRUCTION COMMENCING.			
BOUNDARY/SURVEY/SETOUT:			REMOVABLE HINGE NOTE:				BUILDING METHODS:			
ARCHITECTURALS BY 365 STUDIO IS INDICATIVE FOR BUILDING SETOUT PURPOSE ONLY. PRIOR TO ANY CONSTRUCTION REFER TO SURVEYOR DRAWINGS AND ENGINEERING CIVIL PLAN FOR SITE LEVELS, CONTOURS, BENCH MARKS, SERVICE LOCATIONS. BUILDER TO ORGANISE A CERTIFIED SURVEY PRIOR TO ANY CONSTRUCTION IS COMMENCED. BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PLANS TO BE READ IN CONJUNCTION WITH THE ENGINEERS AND SURVEYORS DRAWINGS/DETAILS. BUILDER TO CONFIRM ENGINEER DRAWINGS ARE UPDATED			WC DOOR HAVING DEMOUNTABLE HINGES AND BEINGS REMOVABLE FROM OUTSIDE THE WC. TO BE COMPLIANT WITH BCA - PART 2.43 & 3.8.3				LOWER: BRICK VENEER CONSTRUCTION UPPER: HEBEL POWER PANEL MID-FLOOR: STRUCTA FLOOR FEATURE MATERIALS: SCYON STRIAMATRIX CLADDING PARTY-WALL: SHAFT LINER PARTI WALL/DOUBLE LEAF HEBEL PANEL WALL			
RAINWATER NOTE:			HOT WATER SERVICE:				BRICK VENEER: 110mm THICK EXPOSED BRICK WORK, 40mm CAVITY AND 90mm TIMBER STUD WALL. REFER TO ELEVATIONS IF RENDER IS REQUIRED.			
1000LTS (MIN) RWT COLLECTING 50m² ROOF CATCHMENT AREA, PLUMBED TO EITHER TOILET, HOT WATER SYSTEM OR ALL LAUNDRY COLD WATER OUTLETS, RWT MUST BE FITTED WITH OVERFLOW DEVICE. INLET & OVERFLOW MUST BE FITTED WITH MCSQUIT-PROOF SCREENS. MUST COMPLY WITH BCA REQUIREMENTS			RINNAI B26 HOT WATER SYSTEMS TO BE INSTALLED OR HAVE AN EFFICIENCY RATING ENERGY RATING LABEL OF AT LEAST 5 STARS COMPLYING WITH AS4552 AND BCA P2.6.2 (b) - ALSO REFER ENERGY EFFICIENCY REPORT FOR FURTHER DETAILS/REQUIREMENTS. LOCATION TO BE CONFIRMED ON SITE IF NOT NOTED ON THE SITE PLAN.				HEBEL POWER PANEL VENEER: 75mm THICK HEBEL POWER PANEL, 25mm CAVITY AND 90mm TIMBER STUD, WITH EXTERNAL RENDER FINISH.			
			ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS 1884.2-2010 (RESIDENTIAL TIMBER FRAMED CONSTRUCTION).				PARTY-WALL: REFER TO DETAIL FOR CONSTRUCTION METHOD FOR FEATURE MATERIALS REFER TO MANUFACTURERS SPECIFICATION IF NOT STATED ABOVE.			
			ALL EXPOSED TIMBER MEMBERS AND FIXINGS ARE TO BE ADEQUATELY TREATED WITH PRESERVATIVE IN ACCORDANCE WITH AS 1604				ALL INTERNAL WALLS TO BE LINED WITH 10mm PLASTERBOARD WALL LINING. VILLABOARDS TO ALL WET AREAS			
			ROOF NOTE:				ALL INTERNAL DOORS TO BE 2400mm HIGH			
			ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHINGS, CAPPINGS AND OTHER ITEMS REQUIRED TO MAKE THE ROOF WATERTIGHT AND COMPLETE.				IF A SCHEDULE OF MATERIALS IS PROVIDED/PREPARED ENSURE THAT THIS TAKES PRECEDENCE OVER DRAWINGS.			
			ALL SANITARY, PLUMBING, DRAINAGE & ELECTRICAL WORK TO BE CARRIED OUT BY FULLY QUALIFIED AND LICENSED TRADESPERSONS.							





AREAS		SQM	AREAS		SQM	AREAS		SQM	AREAS		SQM	AREAS		SQM	AREAS		SQM
TOTAL SITE	706 SQM		GROUND POS	35.60		BALCONY POS	4.00	4.00	BALCONY POS	4.00	4.00	BALCONY POS	4.00	4.00	BALCONY POS	4.00	4.00
5 DWELLINGS	141 SQM AVG		TOTAL POS	35.60		GROUND POS	35.15	35.50	GROUND POS	35.10	35.50	GROUND POS	35.10	35.50	GROUND POS	35.10	35.50
						TOTAL POS	39.15	39.50	TOTAL POS	39.10	39.50	TOTAL POS	39.10	39.50	TOTAL POS	39.10	39.50



BOUNDARY/SURVEY/SETOUT:

REFER TO WD01 FOR ALL GENERAL/BUILDING NOTES

ARCHITECTURALS BY 365 STUDIO IS INDICATIVE FOR BUILDING SETOUT PURPOSE ONLY. PRIOR TO ANY CONSTRUCTION REFER TO SURVEYOR DRAWINGS AND ENGINEERING CIVIL PLAN FOR SITE LEVELS, CONTOURS, BENCH MARKS, SERVICE LOCATIONS. BUILDER TO ORGANISE A CERTIFIED SURVEY PRIOR TO ANY CONSTRUCTION IS COMMENCED. BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PLANS TO BE READ IN CONJUNCTION WITH THE ENGINEERS AND SURVEYORS DRAWINGS/DETAILS. BUILDER TO CONFIRM ENGINEER DRAWINGS ARE UPDATED

BRUSH FENCE NOTE:

THERE WILL NOT BE ANY BRUSH FENCES WITHIN 3M OF THE PROPOSED BUILDING WORKS. ANY BRUSH FENCES THAT ARE WITHIN 3M OF THE PROPOSED WORKS/DWELLING ARE TO BE REMOVED BY THE OWNER & REPLACED WITH A NON-COMBUSTIBLE MATERIAL THAT MUST COMPLY WITH BCA REQUIREMENTS

STORM-WATER NOTE:

REFER TO ENGINEERS CIVIL PLAN FOR ALL LEVELS, RETAINING WALLS AND STORMWATER DRAINAGE PLAN

RAINWATER NOTE:

2000LTS (MIN) RWT FOR RETENTION/DETENSION, PLUMBED TO EITHER TOILET, HOT WATER SYSTEM OR ALL LAUNDRY COLD WATER OUTLETS, RWT MUST BE FITTED WITH OVERFLOW DEVICE. INLET & OVERFLOW MUST BE FITTED WITH MOSQUITTI-PROOF SCREENS. MUST COMPLY WITH BCA REQUIREMENTS

PRELIMINARY DRAWINGS

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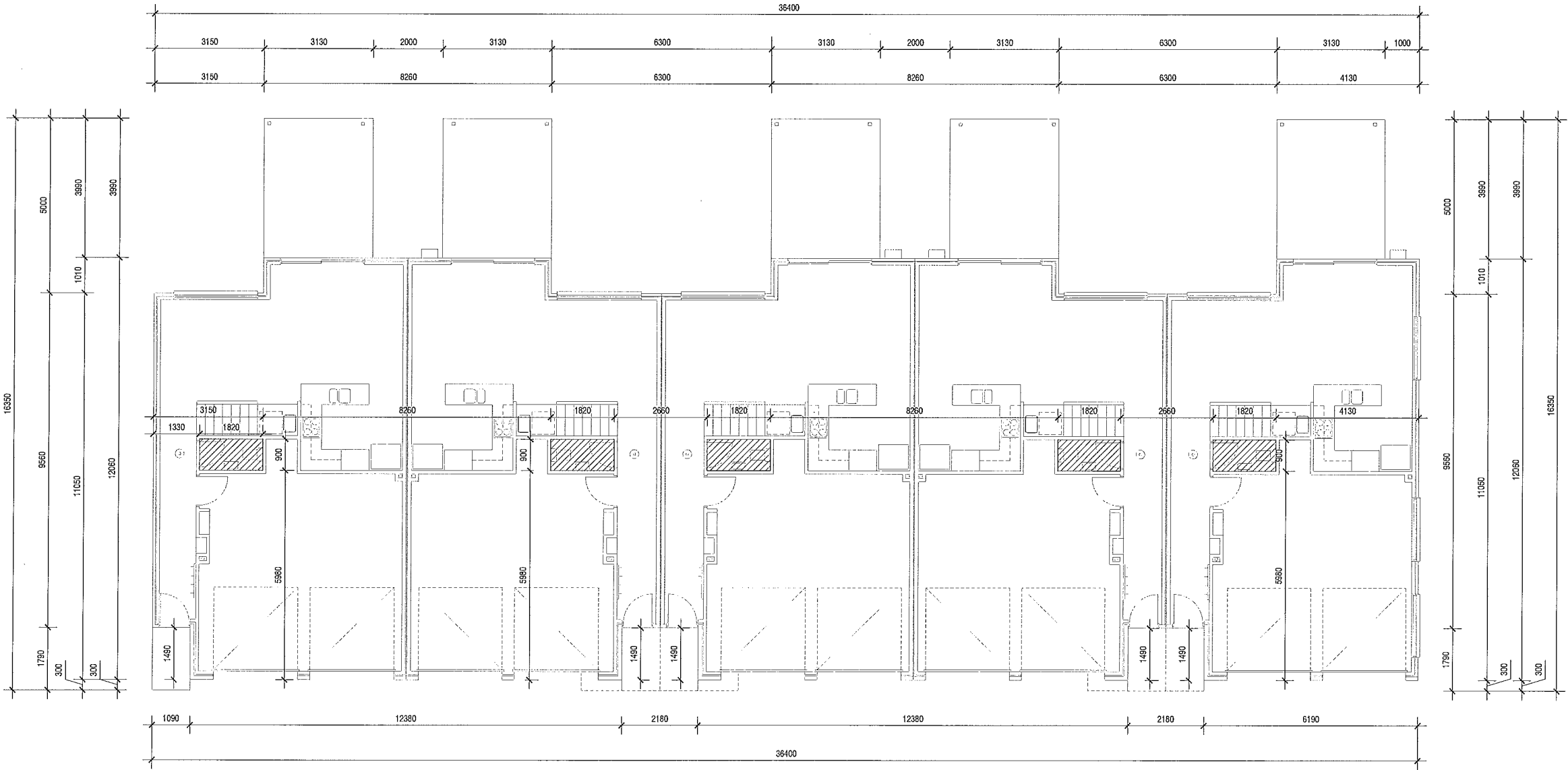
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ISSUE: B.	JOB NUMBER: 016-04-18 WD02	

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FOOTING & SLAB NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

THE CONTRACTOR SHALL VERIFY ALL
DIMENSION AND LEVELS ON SITE PRIOR
TO THE COMMENCEMENT OF ANY WORK
OR SHOP DRAWINGS

THE CONTRACTOR SHALL NOT MAKE
ALTERATION OR CHANGES TO PLANS
DURING OR PRIOR TO CONSTRUCTION
WITHOUT WRITTEN NOTICE

CONCRETE FOOTINGS AND SLAB SHOULD
BE READ IN CONJUNCTION WITH/ & IN
ACCORDANCE WITH THE ENGINEERS
REPORT.

ALL CONCRETE SHALL BE HANDLED,
PLACED AND COMPACTED IN
ACCORDANCE WITH THE REQUIREMENTS
OF AS 3600-2001.

ALL REINFORCING SHALL COMPLY WITH
AS 3600 PART 1 - 2000.

TERMITE PROTECTION SHALL COMPLY
WITH AS 3600 PART 1 - 2014.

SLAB EDGE REBATE DEPTH 50MM, WIDTH
110MM

SETDOWN NOTES:

50mm SET DOWNS TO THE GARAGE,
PORCH AND WET AREAS. ALL FLOOR
LEVEL INDICATED ARE TO BE CONFIRM BY
THE BUILDER. REFER TO ENGINEERING
DOCUMENTATION FOR DETAILS.

PRELIMINARY DRAWINGS

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FLOOR PLAN NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

- ⊙ HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993

- ⊗ EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
IN ACCORDANCE WITH AS 1688.2

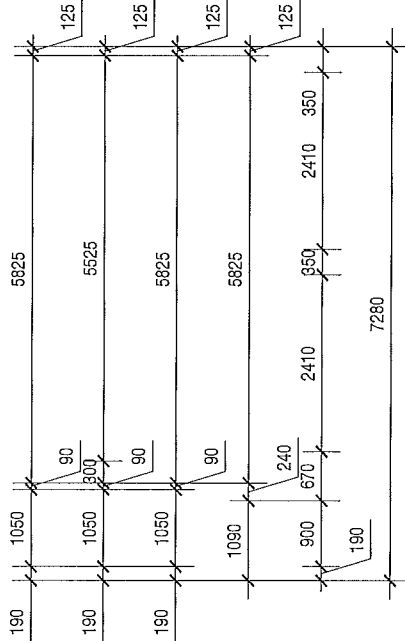
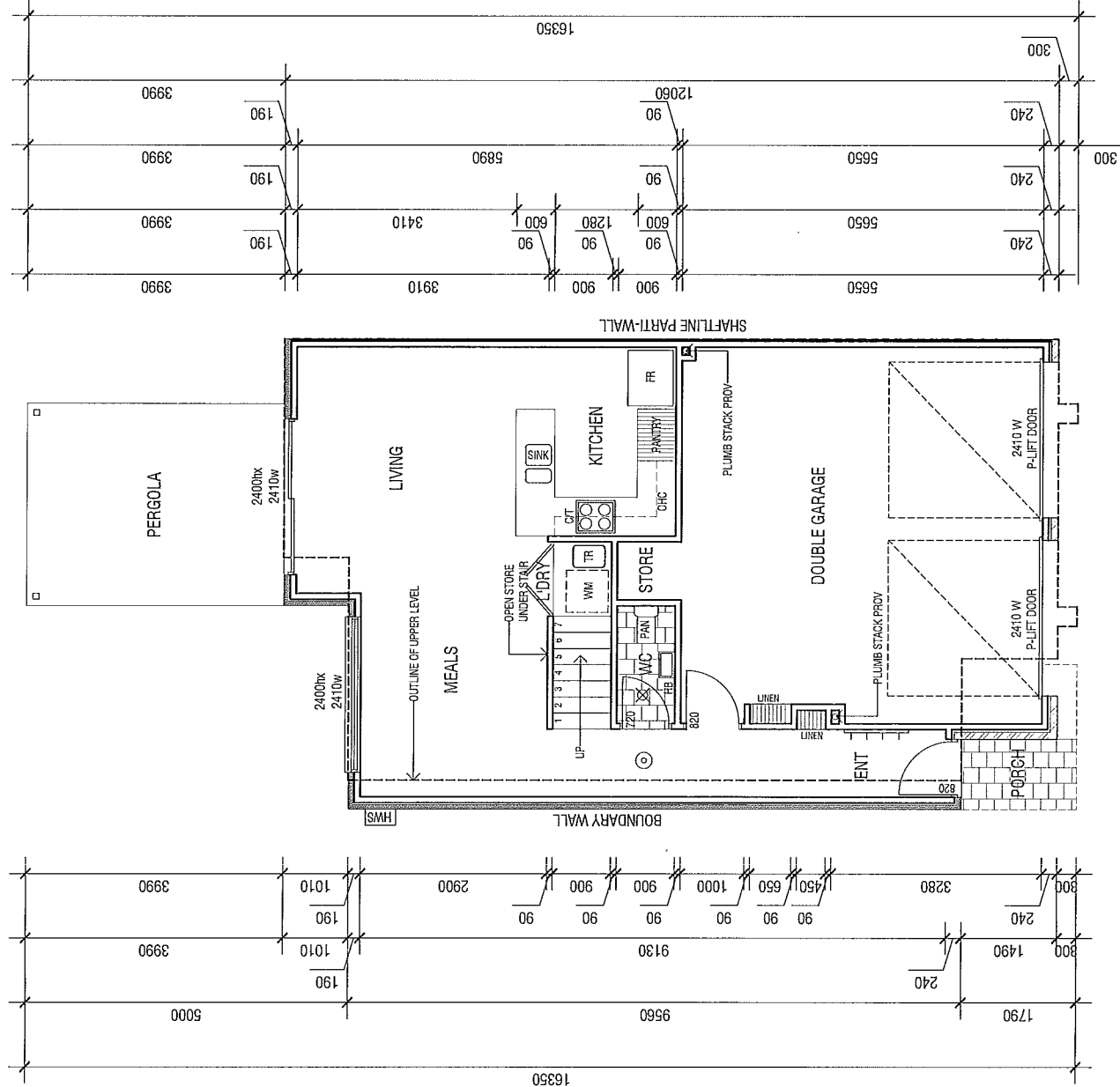
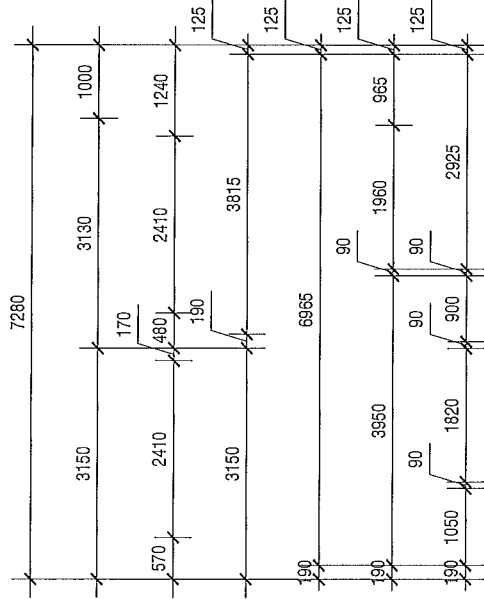
WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

- 190mm HEBEL PANEL VENEER SYSTEM
- 240mm BRICK VENEER SYSTEM

D1-3 FLOOR PLAN NOTES:

DRYER MOUNTING BOARD: 800MM X 800MM
MELAMINE BOARD SECURELY FIXED TO WALL STUDS
ABOVE THE WASHING MACHINE SPACE, OR OTHER
SUITABLE POSITION

OVERFLOWS MUST DISCHARGE TO A DEDICATED DRAIN
THAT IS CONNECTED TO THE STORMWATER SYSTEM
(ENSURE THE OVERFLOWS DO NOT DISCHARGE INTO
THE RAINWATER SUPPLY)



DWELLING AREA (D1)	SQM
GROUND LEVEL	84.40
UPPER LEVEL	76.00
PERGOLA	12.40
TOTAL	172.80

PRELIMINARY DRAWINGS

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STUDIO PRIOR TO TENDERING OR CONSTRUCTION.

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ISSUE:	JOB NUMBER:	
B.	016-04-18 WD04	

FLOOR PLAN NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

⊙ HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993

⊗ EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
IN ACCORDANCE WITH AS 1688.2

WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

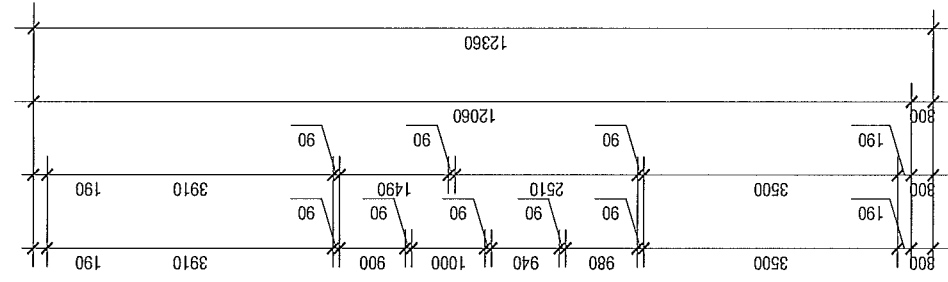
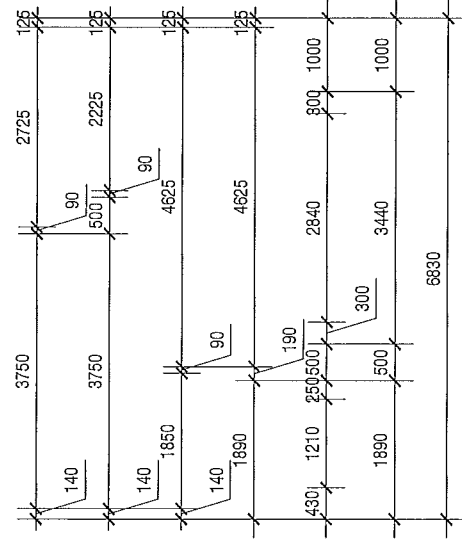
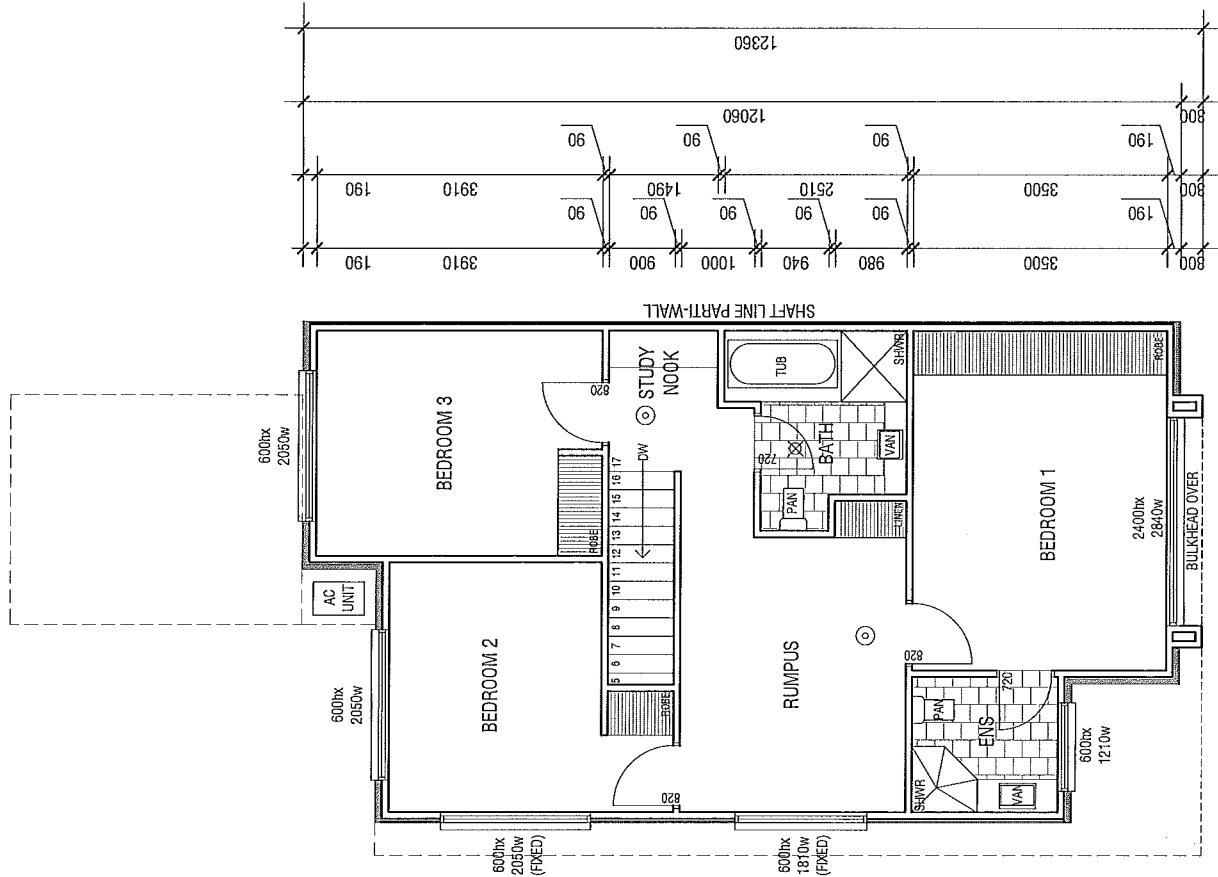
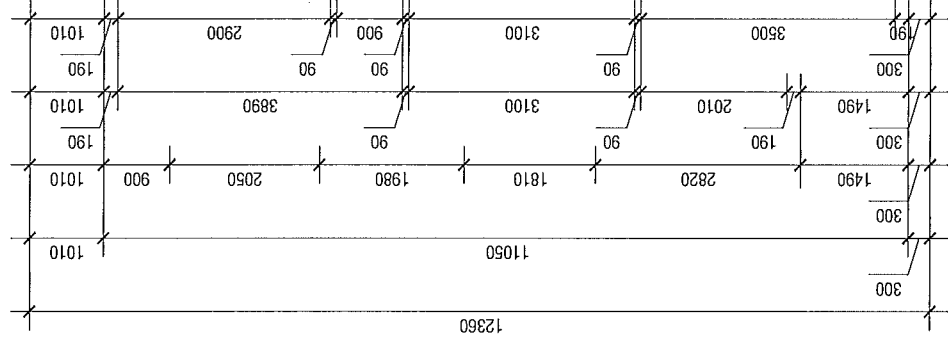
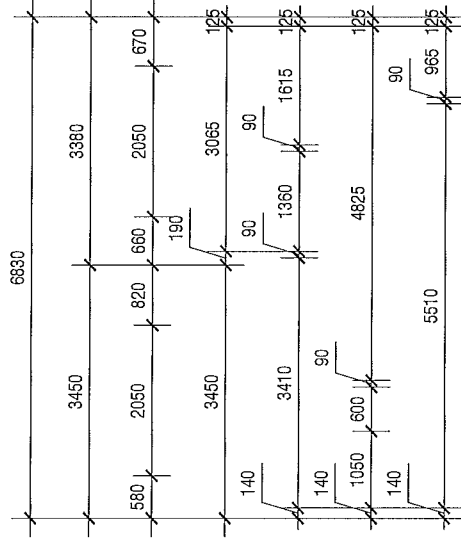
190mm HEBEL PANEL VENEER SYSTEM

240mm BRICK VENEER SYSTEM

D1-3 FLOOR PLAN NOTES:

DRYER MOUNTING BOARD: 800MM X 800MM
MELAMINE BOARD SECURELY FIXED TO WALL STUDS
ABOVE THE WASHING MACHINE SPACE, OR OTHER
SUITABLE POSITION

OVERFLOWS MUST DISCHARGE TO A DEDICATED DRAIN
THAT IS CONNECTED TO THE STORMWATER SYSTEM
(ENSURE THE OVERFLOWS DO NOT DISCHARGE INTO
THE RAINWATER SUPPLY)



DWELLING AREA (D1)	SQM
GROUND LEVEL	84.40
UPPER LEVEL	76.00
PERGOLA	12.40
TOTAL	172.80

PRELIMINARY DRAWINGS

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GLEN VOLLEBREGT

PROJECT:

PROPOSED DEVELOPMENT

ADDRESS:

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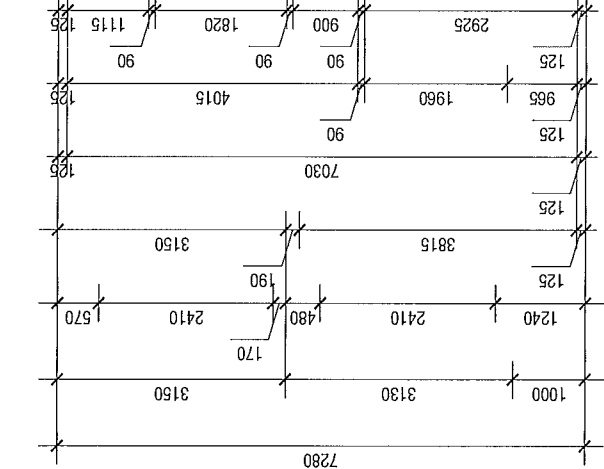
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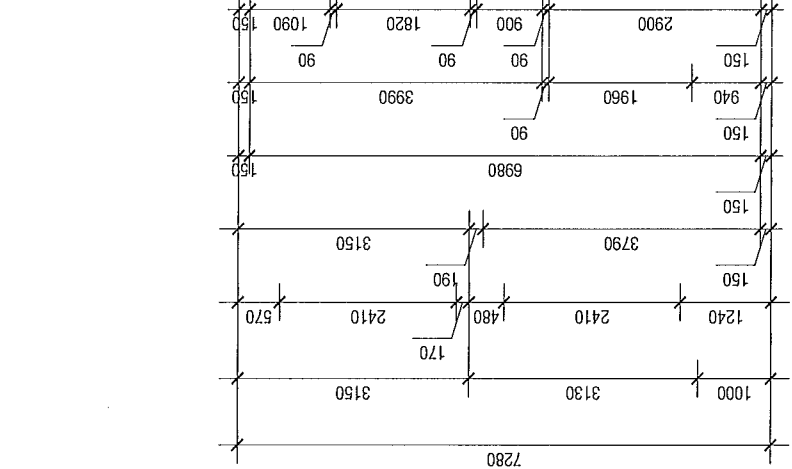
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SCALE 1:100



PRELIMINARY DRAWINGS



DWELLING AREA (D2-5)	SQM	84.40	76.00	12.40	2.80	175.60
GROUND LEVEL						
UPPER LEVEL						
PERGOLA						
BALCONY						
TOTAL						

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D1-3 FLOOR PLAN NOTES:

DRYER MOUNTING BOARD: 800MM X 800MM
MELAMINE BOARD SECURELY FIXED TO WALL STUDS
ABOVE THE WASHING MACHINE SPACE, OR OTHER
SUITABLE POSITION

OVERFLOWS MUST DISCHARGE TO A DEDICATED DRAIN
THAT IS CONNECTED TO THE STORMWATER SYSTEM
(ENSURE THE OVERFLOWS DO NOT DISCHARGE INTO
THE RAINWATER SUPPLY)

FLOOR PLAN NOTES:

REFER TO W001 FOR ALL
GENERAL/BUILDING NOTES

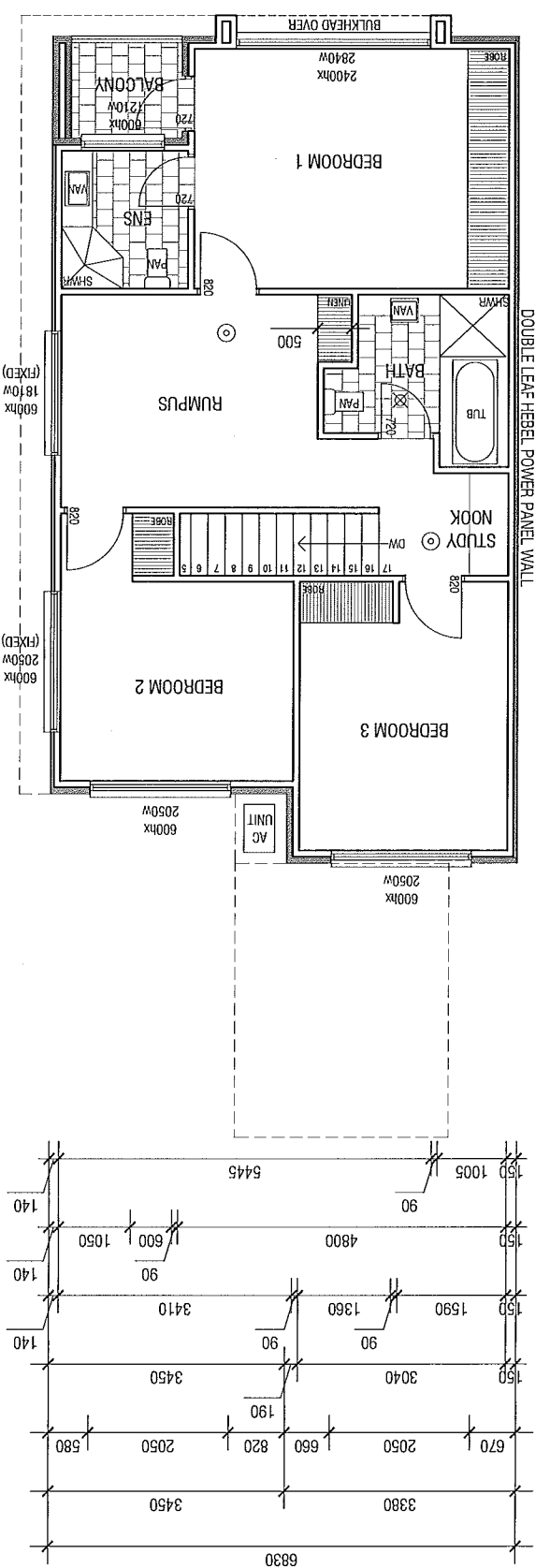
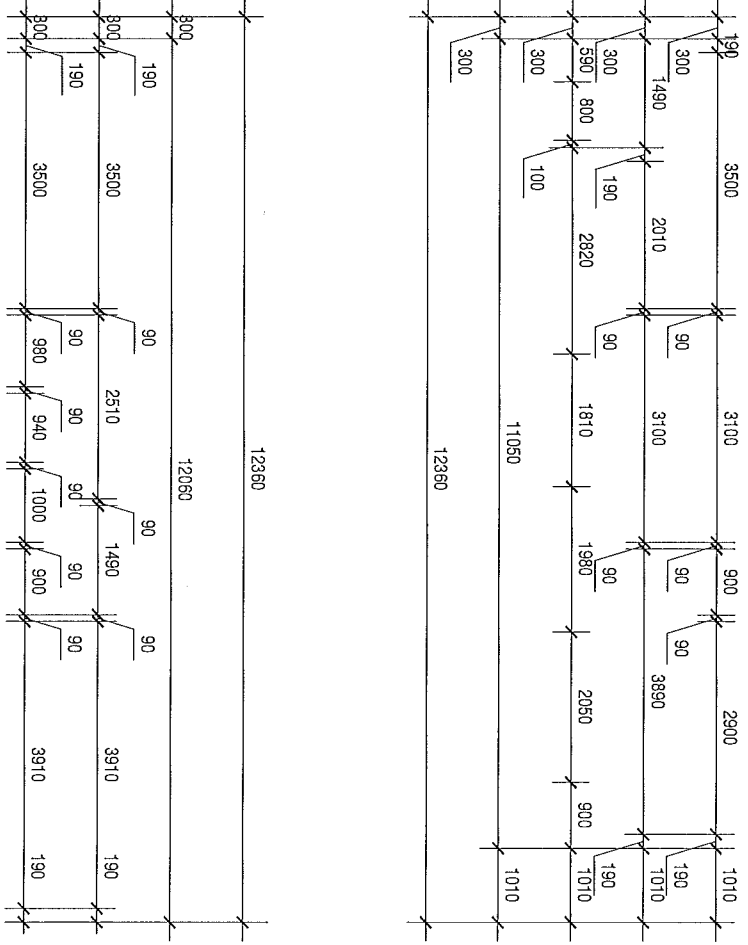
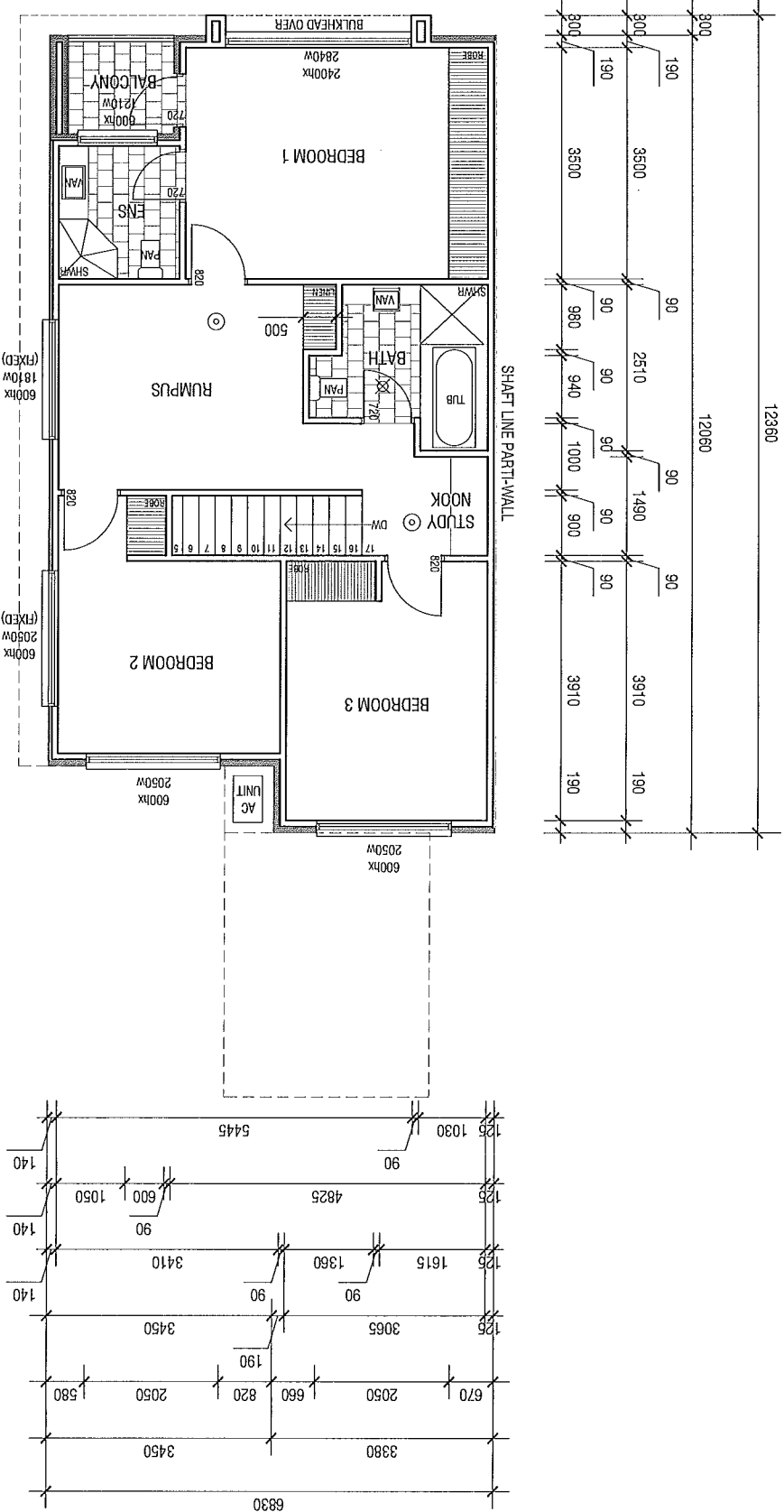
HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993

EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
IN ACCORDANCE WITH AS 1668.2

WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

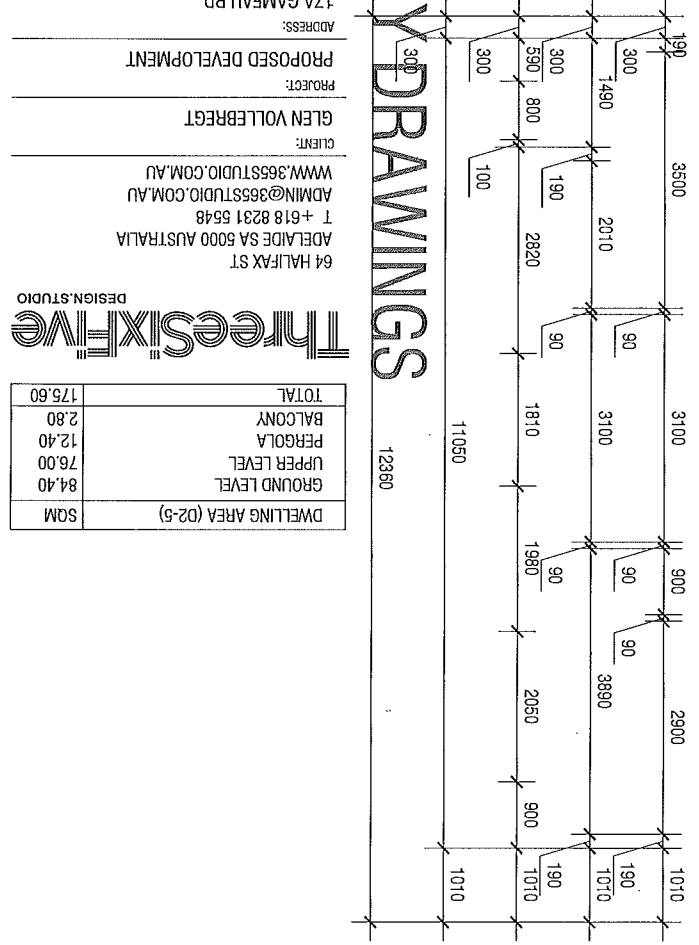
190mm HEBEL PANEL VENEER SYSTEM

240mm BRICK VENEER SYSTEM



D1-3 FLOOR PLAN NOTES:

DRYER MOUNTING BOARD: 800MM X 800MM
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FLOOR PLAN NOTES:

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WC DOOR HAVING
DEMOUNTABLE HINGES AND BENCHES
REMOVABLE FROM OUTSIDE THE WC

190mm HEBEL PANEL VENEER SYSTEM

240mm BRICK VENEER SYSTEM

DWELLING AREA (D2-5)	SQM
GROUND LEVEL	84.40
UPPER LEVEL	76.00
PERGOLA	12.40
BALCONY	2.80
TOTAL	175.60

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JOB NUMBER: 016-04-18 WD07

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PRELIMINARY DRAWINGS

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AS 3786-1993

⊗ EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
IN ACCORDANCE WITH AS 1688.2

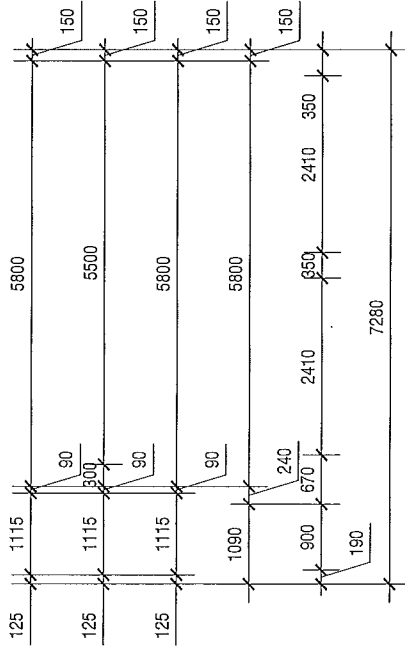
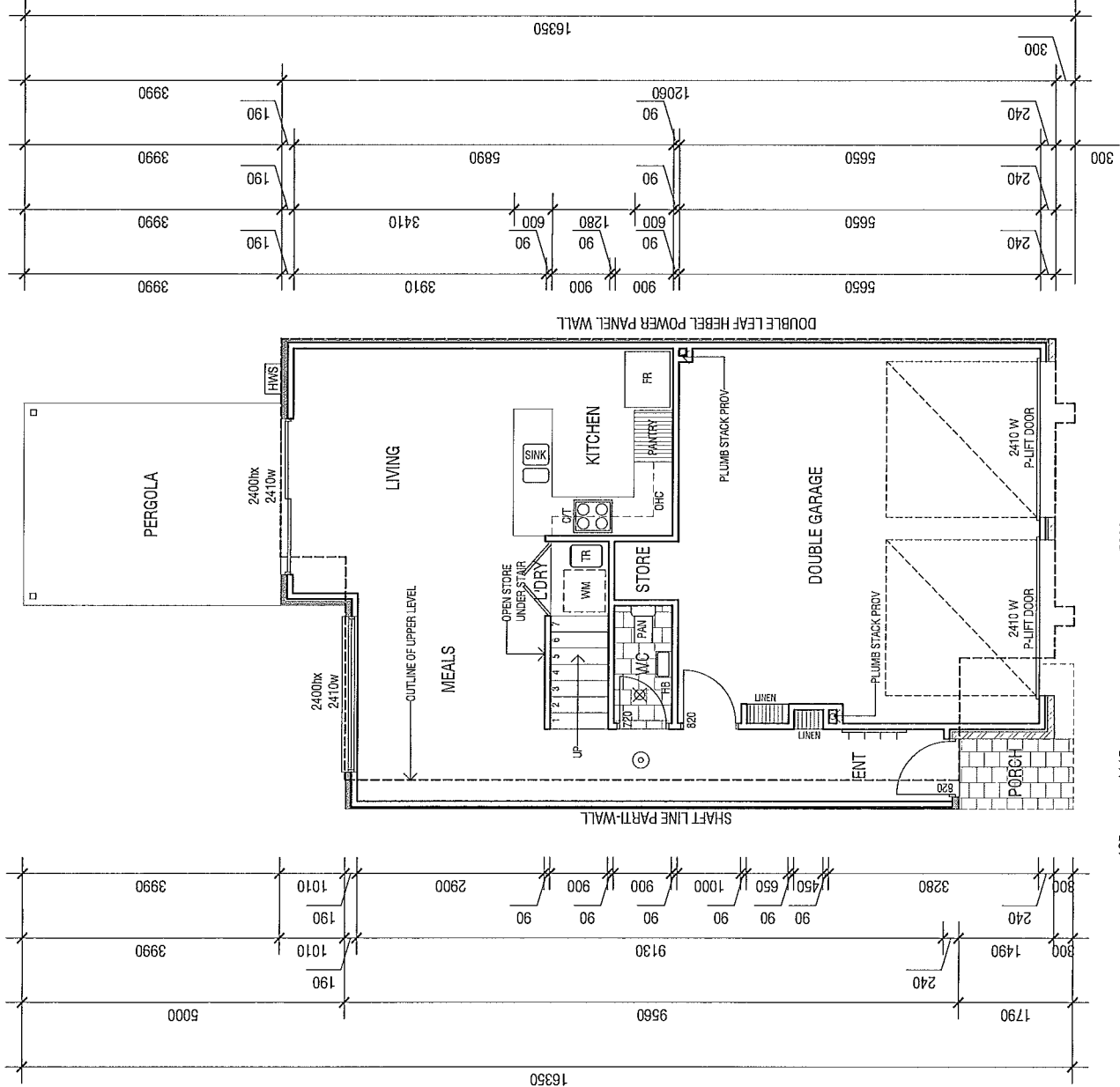
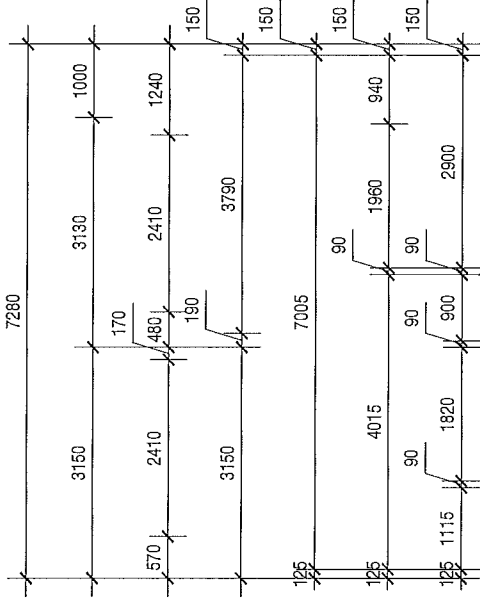
WC DOOR HAVING
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190mm HEBEL PANEL VENEER SYSTEM
240mm BRICK VENEER SYSTEM

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ABOVE THE WASHING MACHINE SPACE, OR OTHER
SUITABLE POSITION

OVERFLOWS MUST DISCHARGE TO A DEDICATED DRAIN
THAT IS CONNECTED TO THE STORMWATER SYSTEM
(ENSURE THE OVERFLOWS DO NOT DISCHARGE INTO
THE RAINWATER SUPPLY)



DWELLING AREA (D2-5)	SQM
GROUND LEVEL	84.40
UPPER LEVEL	76.00
PERGOLA	12.40
BALCONY	2.80
TOTAL	175.60

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PROJECT:
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D3 - GROUND FLOOR PLAN

SCALE 1:100

FLOOR PLAN NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

- ⊙ HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993

- ⊗ EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
IN ACCORDANCE WITH AS 1688.2

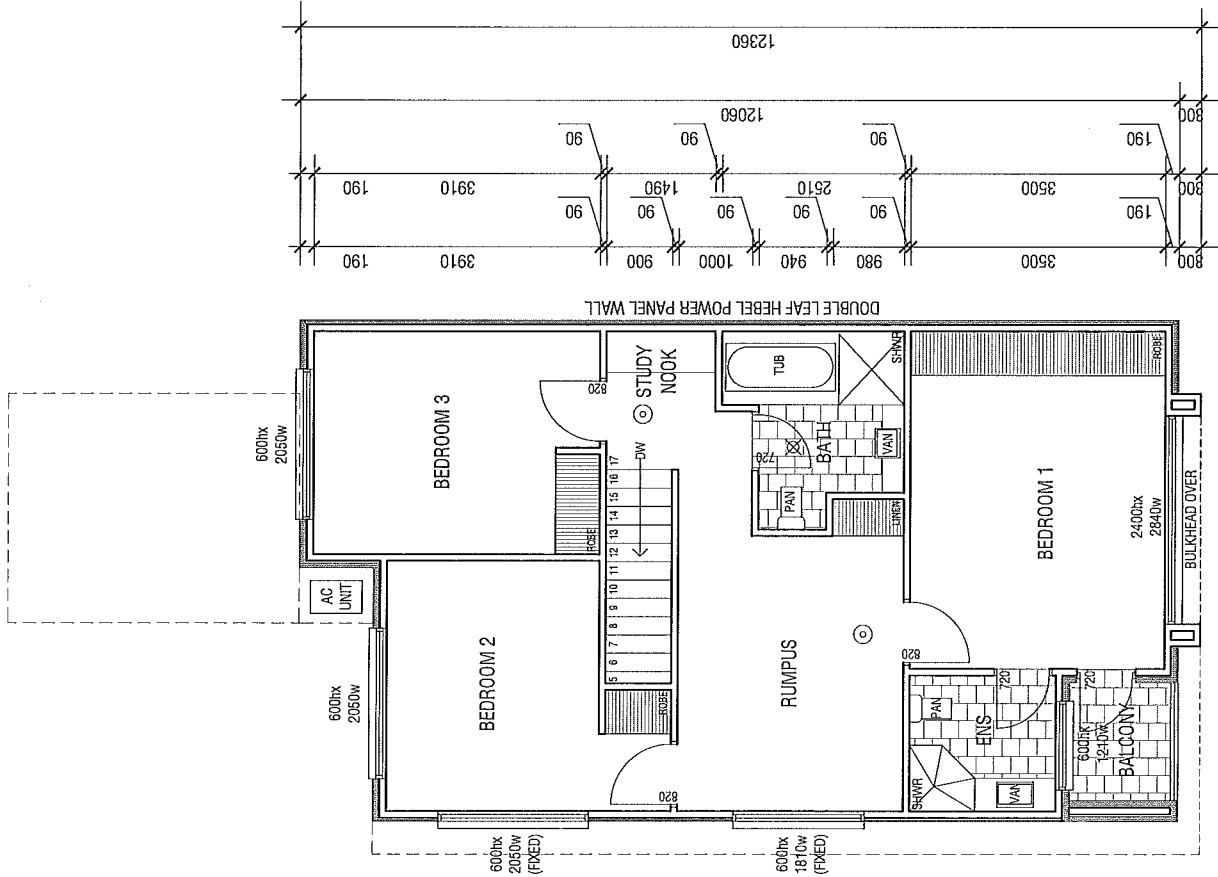
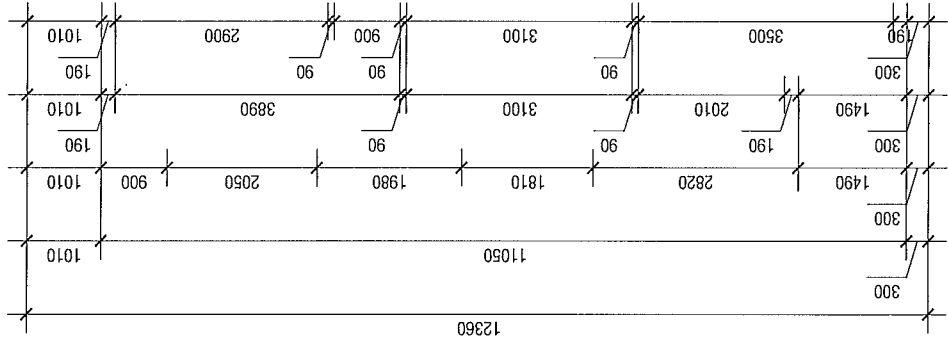
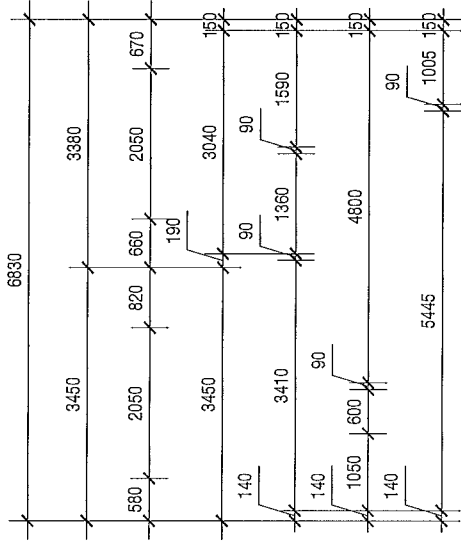
WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

- 190mm HEBEL PANEL VENEER SYSTEM
- 240mm BRICK VENEER SYSTEM

D1-3 FLOOR PLAN NOTES:

DRYER MOUNTING BOARD: 800MM X 800MM
MELAMINE BOARD SECURELY FIXED TO WALL STUDS
ABOVE THE WASHING MACHINE SPACE, OR OTHER
SUITABLE POSITION

OVERFLOWS MUST DISCHARGE TO A DEDICATED DRAIN
THAT IS CONNECTED TO THE STORMWATER SYSTEM
(ENSURE THE OVERFLOWS DO NOT DISCHARGE INTO
THE RAINWATER SUPPLY)



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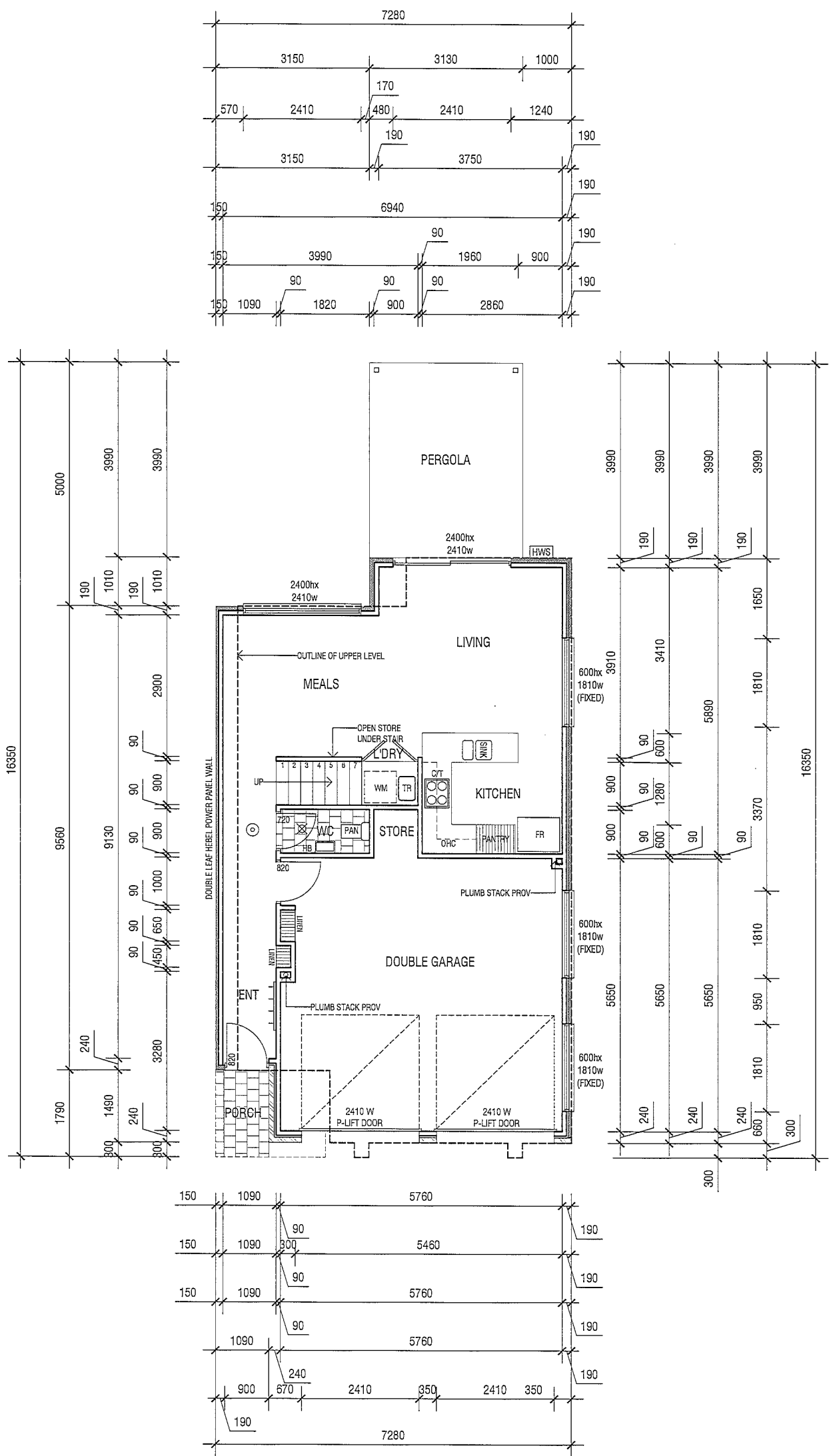
REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

⊙ HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993

⊗ EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
ACCORDANCE WITH AS 1668.2

WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

190mm HEBEL PANEL VENEER SYSTEM
240mm BRICK VENEER SYSTEM



DWELLING AREA (D2-5)	SQM
GROUND LEVEL	84.40
UPPER LEVEL	76.00
PERGOLA	12.40
BALCONY	2.80
TOTAL	175.60

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D5 - GROUND FLOOR PLAN

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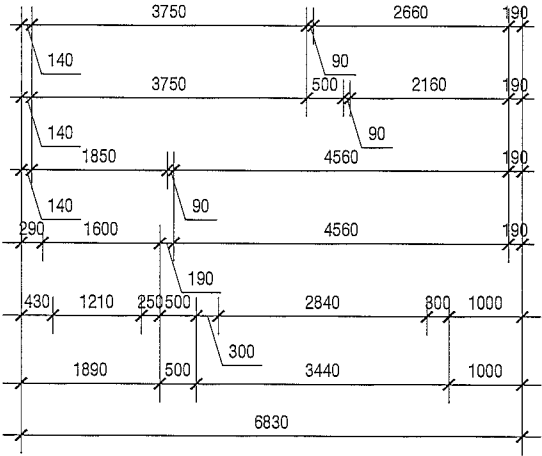
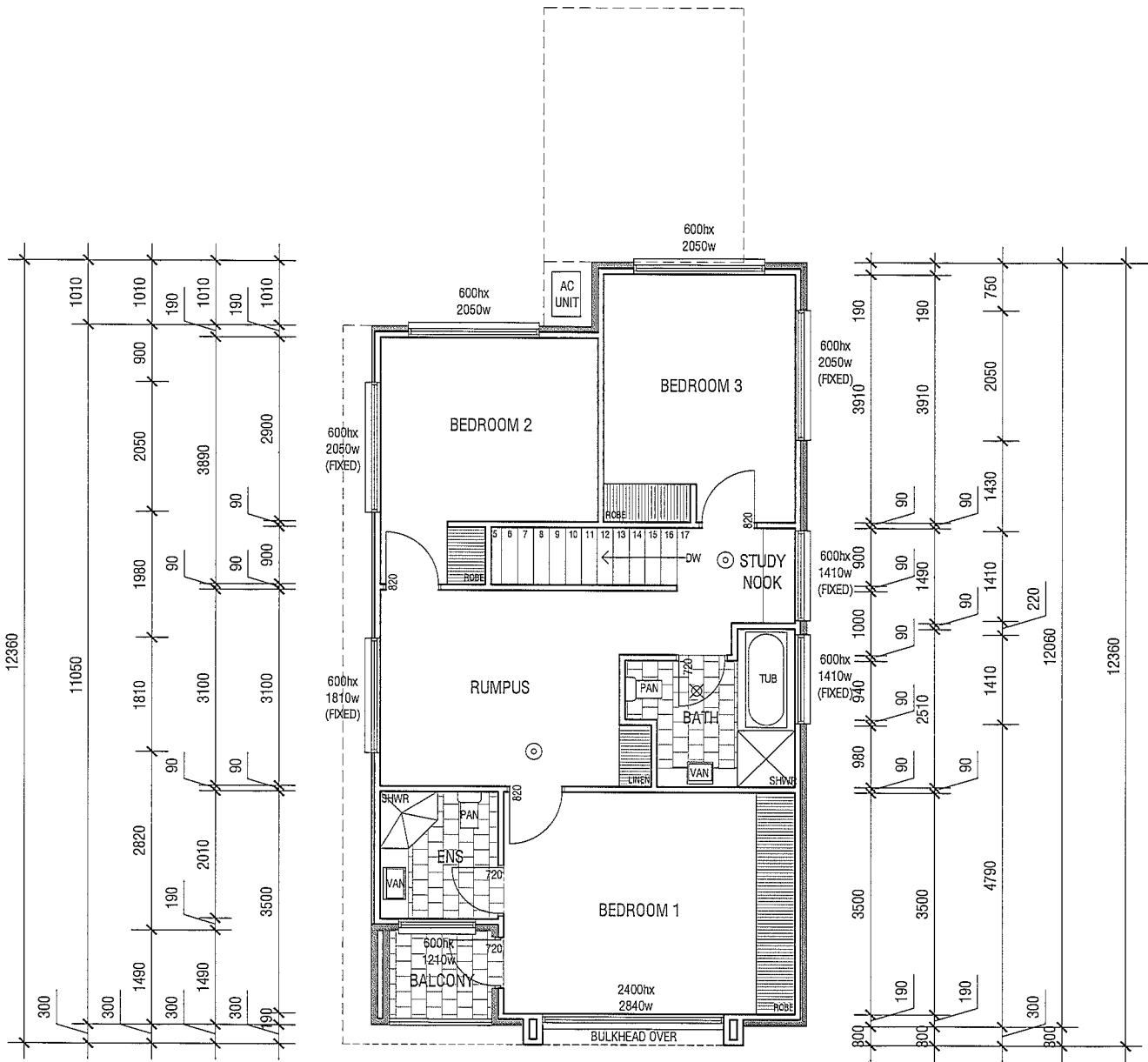
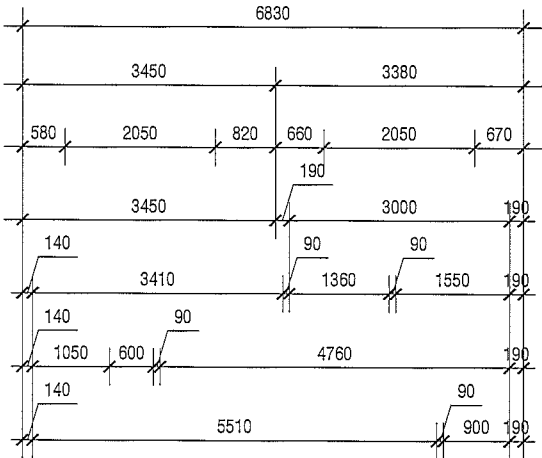
REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

⊙ HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993

⊗ EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
ACCORDANCE WITH AS 1668.2

WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

190mm HEBEL PANEL VENEER SYSTEM
240mm BRICK VENEER SYSTEM



DWELLING AREA (D2-5)	SQM
GROUND LEVEL	84.40
UPPER LEVEL	76.00
PERGOLA	12.40
BALCONY	2.80
TOTAL	175.60

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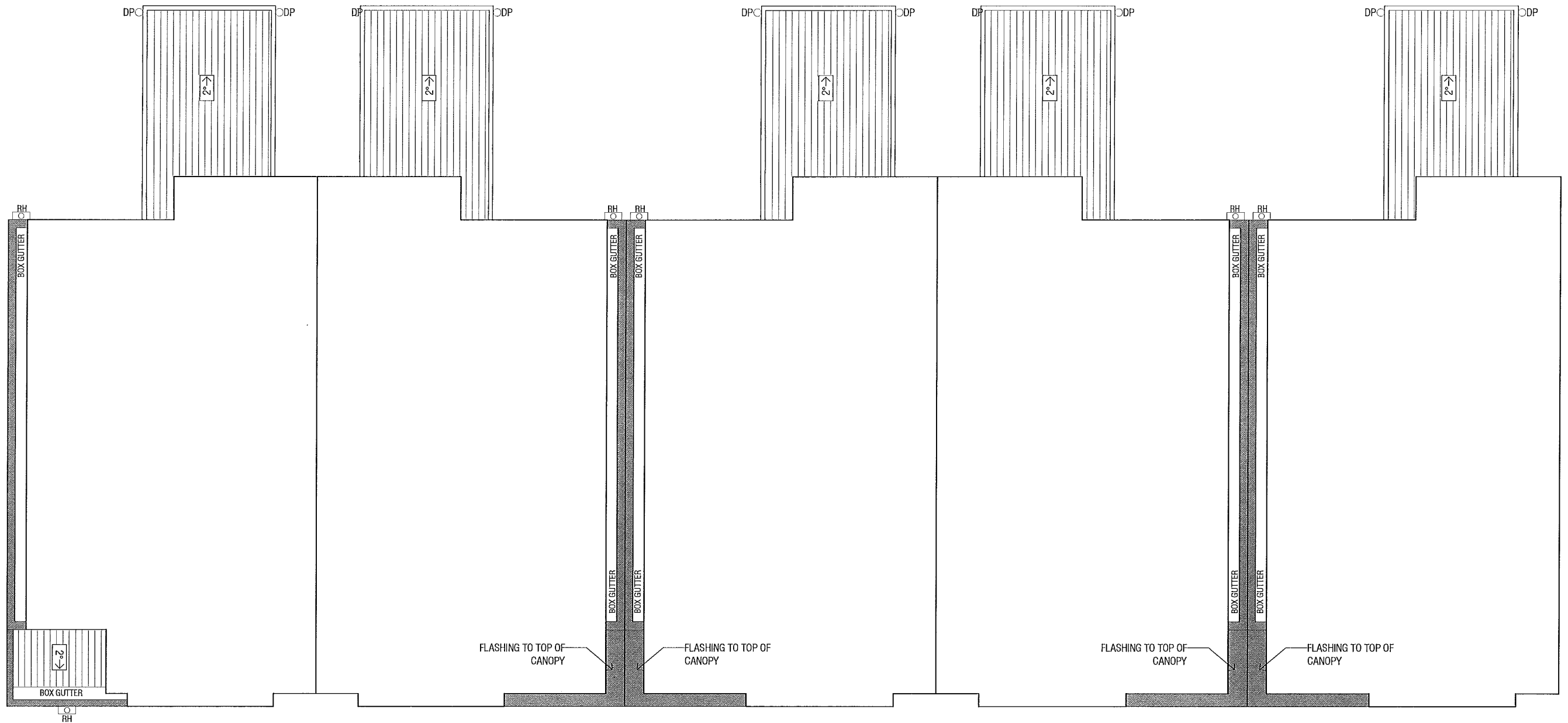
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D5 - UPPER FLOOR PLAN

SCALE 1:100



ROOF PLAN NOTES:

REFER TO WD01 FOR ALL GENERAL/BUILDING NOTES

ROOF TO LOWER @ 2° PITCH . REFER TO ENGINEERING FOR FRAMING, BRACING & STORMWATER LAYOUTS.

REVOLUTION ROOFING O.G GUTTERS (125mm WIDE) & FASCIAS THROUGHOUT UNLESS OTHERWISE SPECIFIED.

THE ROOF STORM WATER BOX GUTTER MUST BE AT LEAST 300MM WIDE AND FITTED WITH A RAINWATER HEAD (SUMP) AND OVERFLOW SPOUT AT THE LOWEST POINTS.



DPC

SDP

RH

METAL FASCIA TO BE INSTALLED WHERE EAVES ENCR OACH WITHIN 450mm OF BOUNDARY.

SKYLIGHT OVER

90Ø PVC DOWNPIPES AS PER ENGINEERS STORMWATER PLAN.

90Ø PVC SPLITER DOWNPIPE AS PER ENGINEERS STORMWATER PLAN.

SELECTED RAIN-HEAD

EAVE NOTES:

ANY EAVES THAT ARE WITHIN 450mm OF A BOUNDARY SHALL INCLUDE:

- 16mm GYPROCK FYRCHEK
- 4.5mm FRC SHEET EXTERNAL LINING
- BACK OF FACIA SHALL BE TIGHTLY PACKED WITH FRL 60 FIRE RATED MINERAL WOOL

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D1: D5 - GROUND FLOOR ROOF PLAN

SCALE 1:100

PRELIMINARY DRAWINGS



ROOF PLAN NOTES:

REFER TO WD01 FOR ALL GENERAL/BUILDING NOTES

ROOF TO UPPER @ 2° PITCH. REFER TO ENGINEERING FOR FRAMING, BRACING & STORMWATER LAYOUTS.

REVOLUTION ROOFING O.G GUTTERS (125mm WIDE) & FASCIAS THROUGHOUT UNLESS OTHERWISE SPECIFIED.

THE ROOF STORM WATER BOX GUTTER MUST BE AT LEAST 300MM WIDE AND FITTED WITH A RAINWATER HEAD (SUMP) AND OVERFLOW SPOUT AT THE LOWEST POINTS.



DP

SDP



METAL FASCIA TO BE INSTALLED WHERE EAVES ENCR OACH WITHIN 450mm OF BOUNDARY.

SKYLIGHT OVER

900 PVC DOWNPIPES AS PER ENGINEERS STORMWATER PLAN.

900 PVC SPLITTER DOWNPIPE AS PER ENGINEERS STORMWATER PLAN.

SELECTED RAIN-HEAD

EAVE NOTES:

ANY EAVES THAT ARE WITHIN 450mm OF A BOUNDARY SHALL INCLUDE:

- 16mm GYPROCK FYRCHEK
- 4.5mm FRC SHEET EXTERNAL LINING
- BACK OF FACIA SHALL BE TIGHTLY PACKED WITH FRL 60 FIRE RATED MINERAL WOOL

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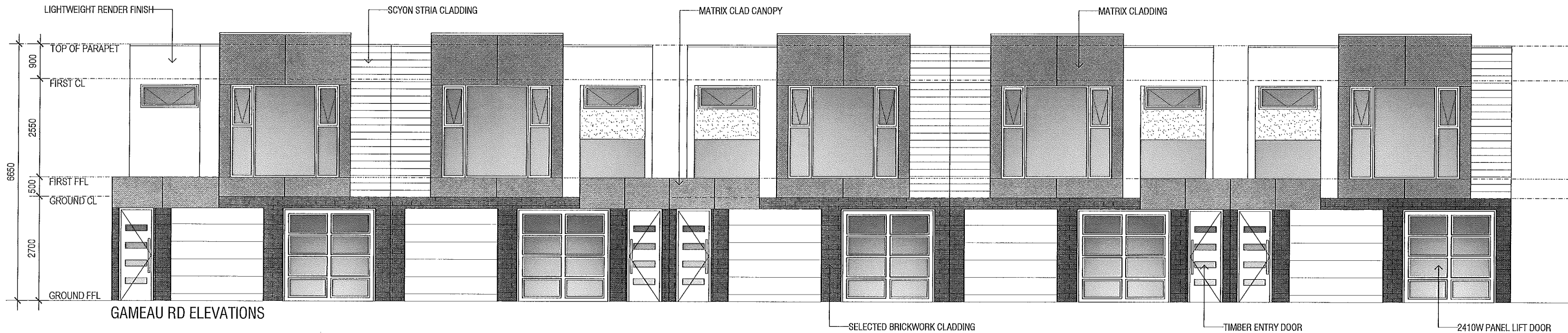
D1: D5 - UPPER FLOOR ROOF PLAN

SCALE 1:100

PRELIMINARY DRAWINGS

WINDOW OPENINGS NOTES:

FIRST FLOOR OPENING - ALL BEDROOM
WINDOWS OPENINGS BELOW 1700mm AFL
TO FIRST FLOOR TO BE RESTRICTED AND
HAVE A MAXIMUM OPENING OF NO MORE
THAN 125MM.



SOLAR PANELS LOCATED ON ROOF

ADDRESS:

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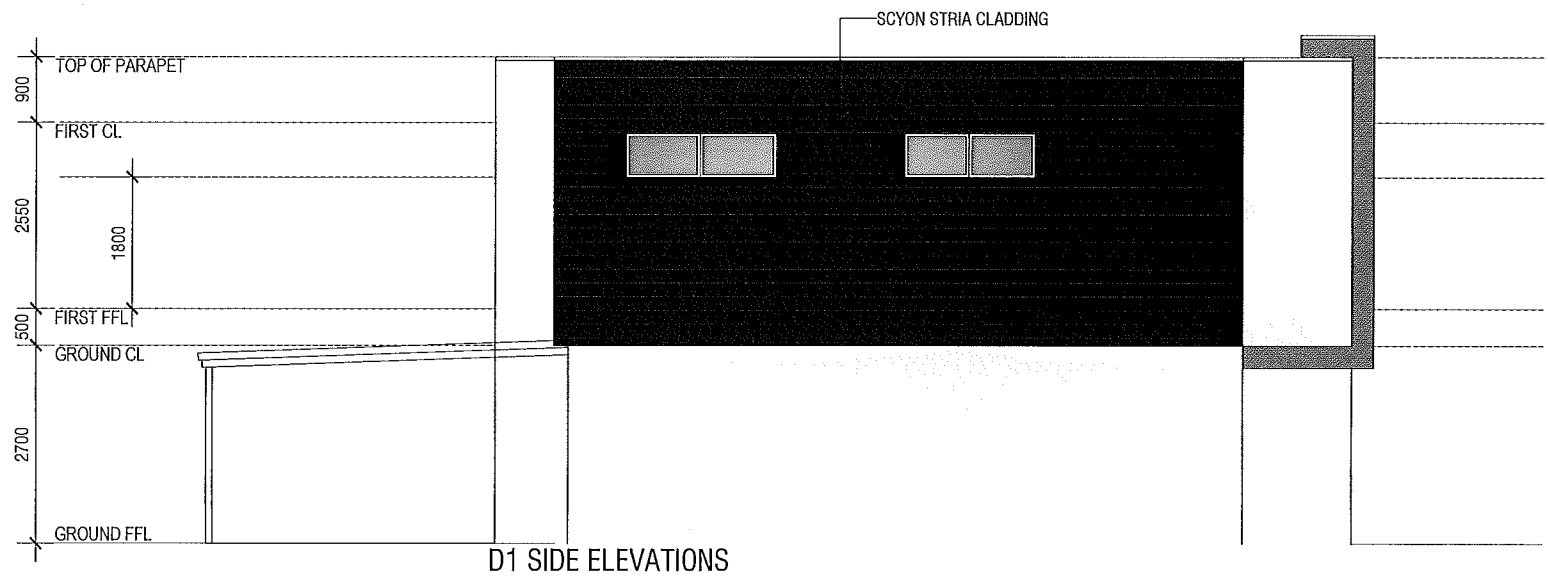
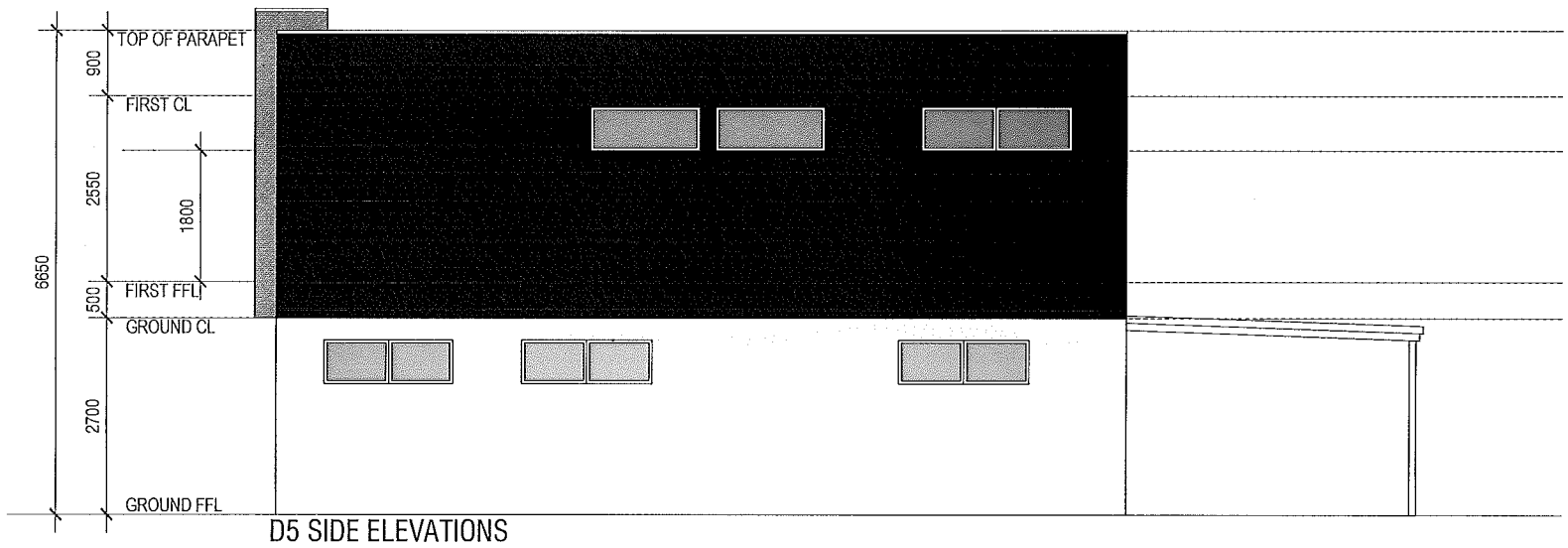
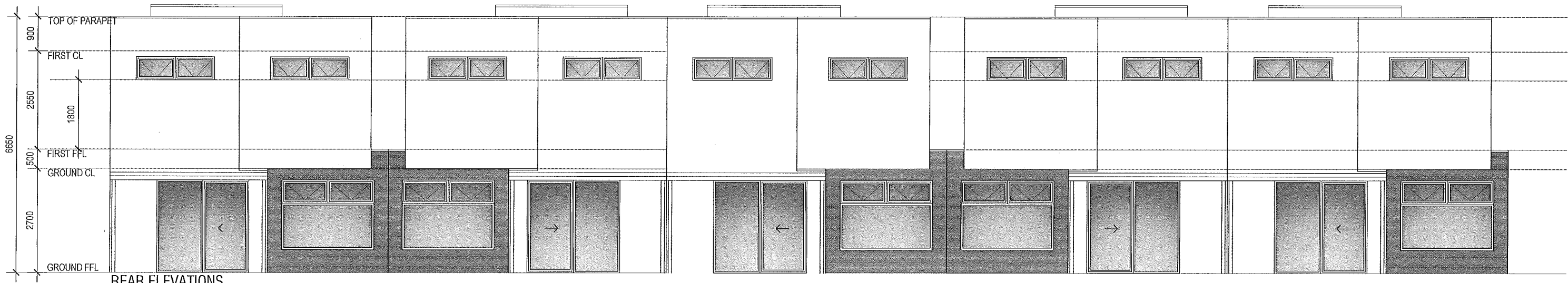
ELEVATIONS

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PRELIMINARY DRAWINGS

WINDOW OPENINGS NOTES:

FIRST FLOOR OPENING - ALL BEDROOM
WINDOWS OPENINGS BELOW 1700mm AFL
TO FIRST FLOOR TO BE RESTRICTED AND
HAVE A MAXIMUM OPENING OF NO MORE
THAN 125MM.



PRELIMINARY DRAWINGS

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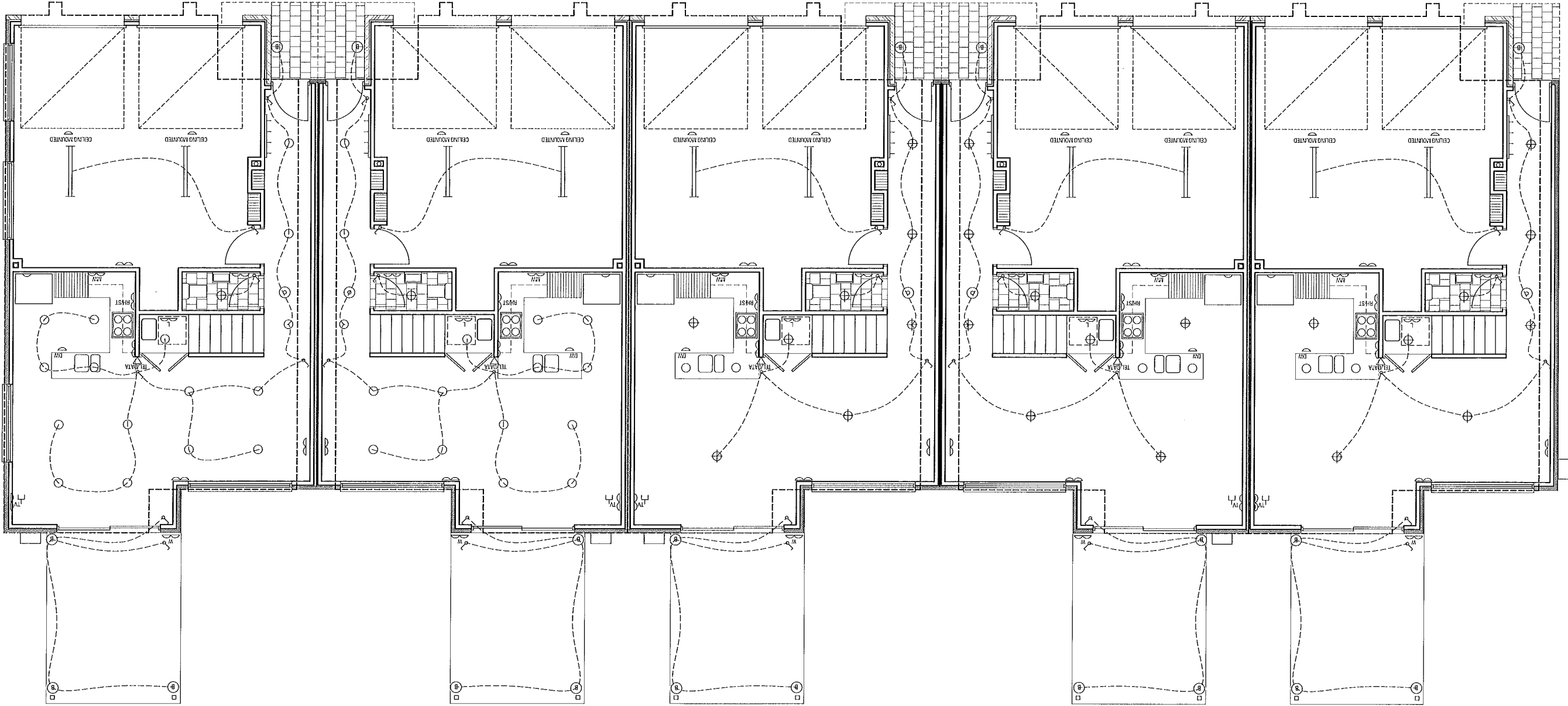


D1: D5 - GROUND FLOOR ELECTRICAL PLAN

SCALE 1:100

ELECTRICAL LEGEND	
	ELECTRICAL METER BOX
	GAS METER BOX
	SINGLE GPO OUTLET
	DOUBLE GPO OUTLET
	WEATHERPROOF SINGLE SWITCH GPO OUT
	WEATHERPROOF DOUBLE SWITCH GPO OUT
	SINGLE GPO OUTLET FOR FRIDGE
	SINGLE GPO OUTLET FOR MICROWAVE
	SINGLE GPO OUTLET FOR DISHWASHER
	SINGLE GPO OUTLET FOR RANGEHOOD
	SINGLE GPO OUTLET FOR LAUNDRY
	HOT WATER UNIT

	AIR CONDITIONING CONDENSING UNIT
	FLOOR MOUNTED TELEPHONE OUTLET
	TELEVISION ARIEL OUTLET
	ONE-WAY LIGHT SWITCH
	TWO-WAY LIGHT SWITCH
	CIRCUIT/SWITCH LINE
	RECESSED DOWNLIGHT
	BUNKER LIGHT
	SMOKE DETECTOR
	FAN/HEAT/LIGHT UNIT
	FLUORESCENT LIGHT



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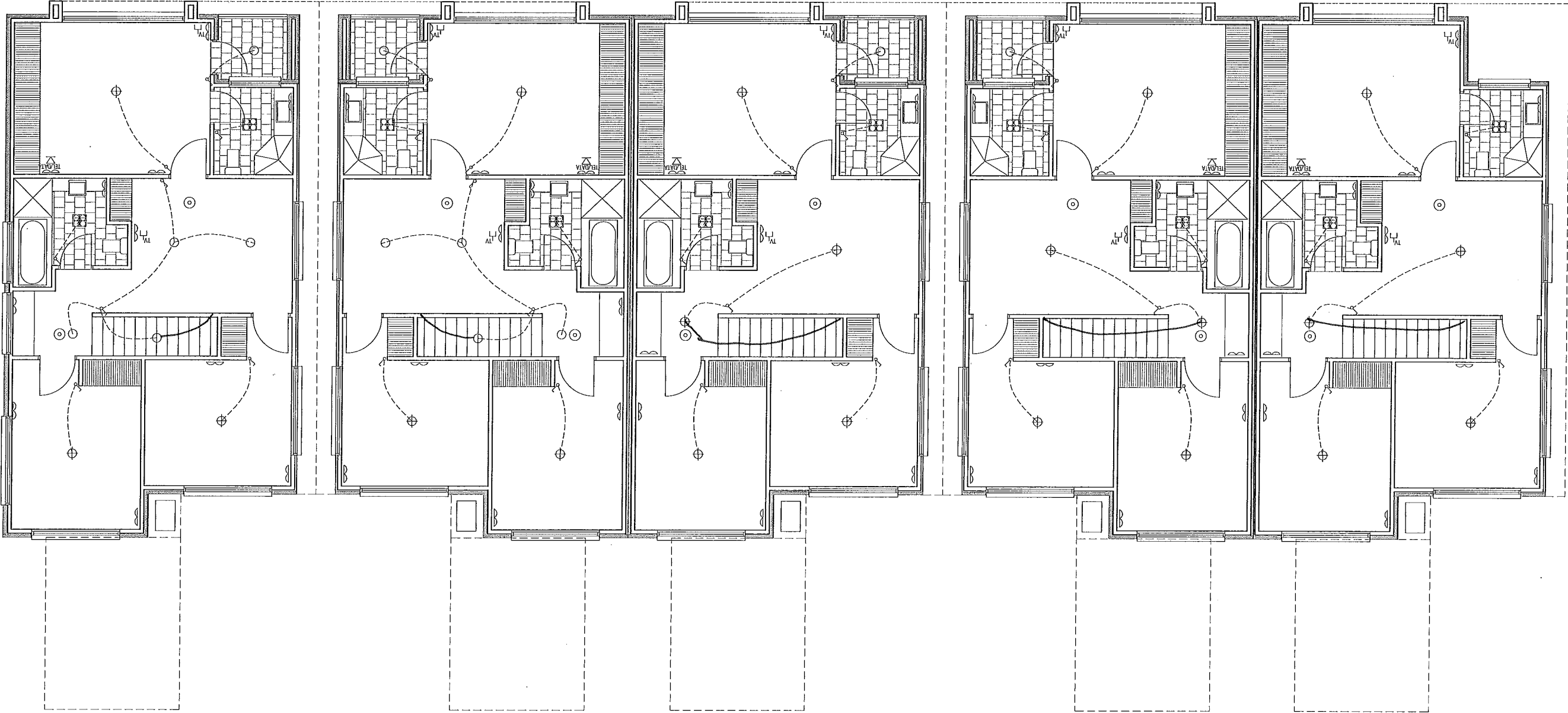


D1: D5 - UPPER FLOOR ELECTRICAL PLAN

SCALE 1:100

ELECTRICAL LEGEND		REFER TO FINISHES SCHEDULE (IF APPLICABLE)	LOCATION
	ELECTRICAL METER BOX	WALL MOUNTED	
	GAS METER BOX	WALL MOUNTED	
	SINGLE GPO OUTLET	200mm ABOVE FFL	
	DOUBLE GPO OUTLET	200mm ABOVE FFL	
	WEATHERPROOF SINGLE SWITCH GPO OUT	200mm ABOVE FFL	
	WEATHERPROOF DOUBLE SWITCH GPO OUT	200mm ABOVE FFL	
	SINGLE GPO OUTLET FOR FRIDGE	1100mm ABOVE FFL	
	SINGLE GPO OUTLET FOR MICROWAVE	ADJACENT EQUIP.	
	SINGLE GPO OUTLET FOR DISHWASHER	ADJACENT EQUIP.	
	SINGLE GPO OUTLET FOR RANGEHOOD	1800mm ABOVE FFL	
	SINGLE GPO OUTLET FOR LAUNDRY	1100mm ABOVE FFL	
	HOT WATER UNIT	SURFACE MOUNTED	

	AIR CONDITIONING CONDENSING UNIT	FLOOR MOUNTED
	TELEPHONE OUTLET	ADJACENT EQUIP.
	TELEVISION ARIEL OUTLET	200mm ABOVE FFL
	ONE-WAY LIGHT SWITCH	1100mm ABOVE FFL
	TWO-WAY LIGHT SWITCH	1100mm ABOVE FFL
	CIRCUIT/SWITCH LINE	WHERE REQUIRED
	OYSTER LIGHT	SURFACE MOUNTED
	RECESSED DOWNLIGHT	CEILING RECESSED
	BUNKER LIGHT	CEILING MOUNTED
	SMOKE DETECTOR	CEILING MOUNTED
	FAN/HEAT/LIGHT UNIT	CEILING RECESSED
	FLUORESCENT LIGHT	CEILING MOUNTED



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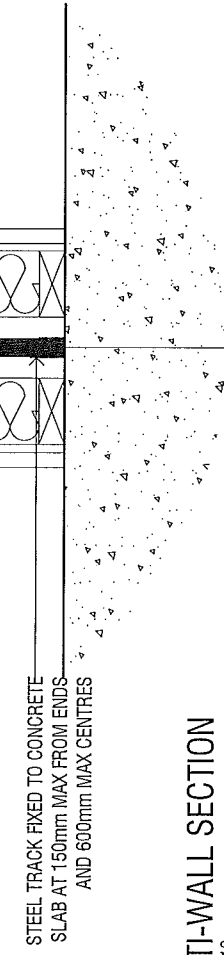
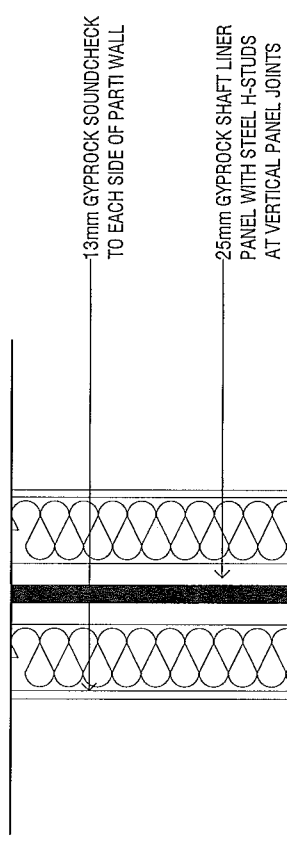
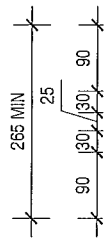
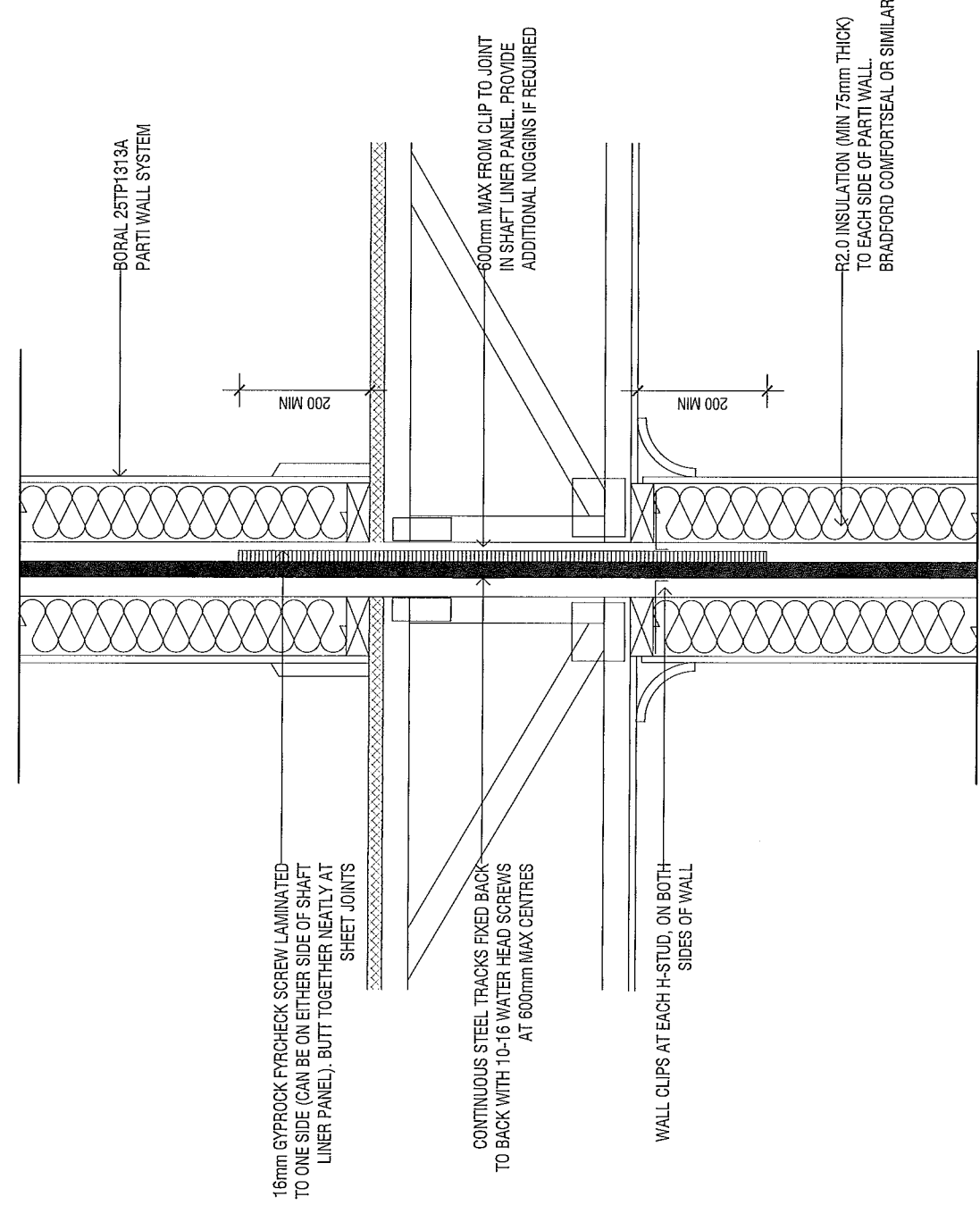
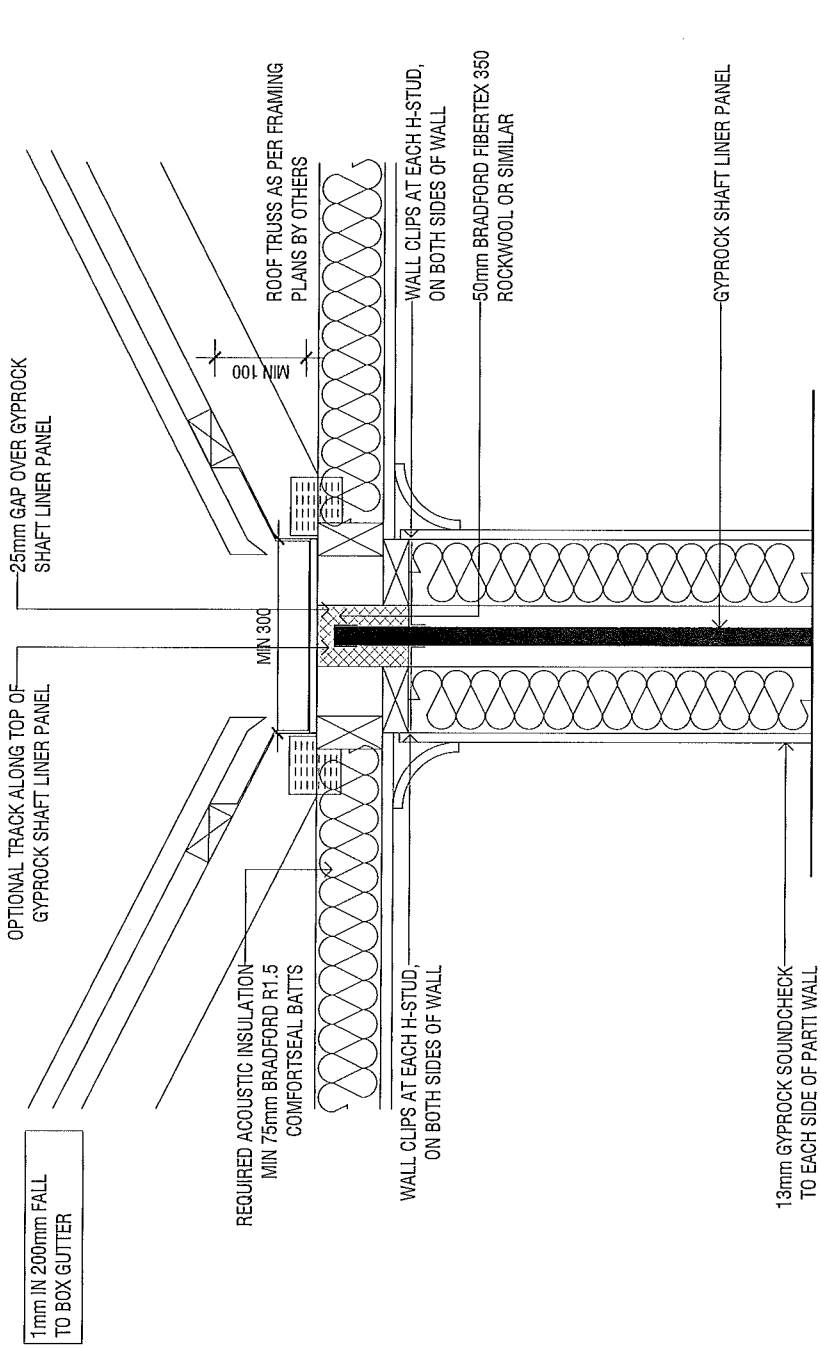
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PARTI-WALL SECTION
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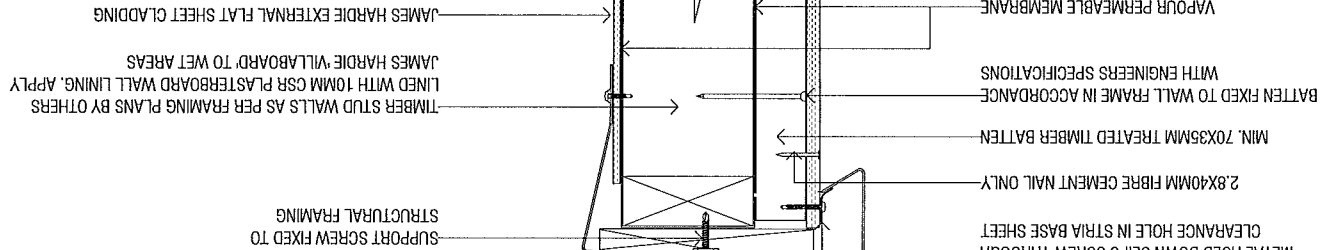
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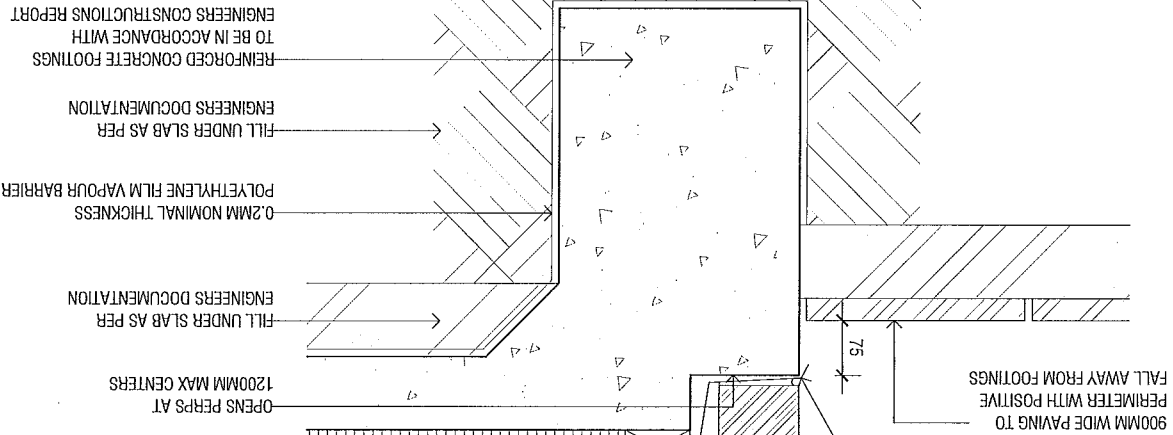
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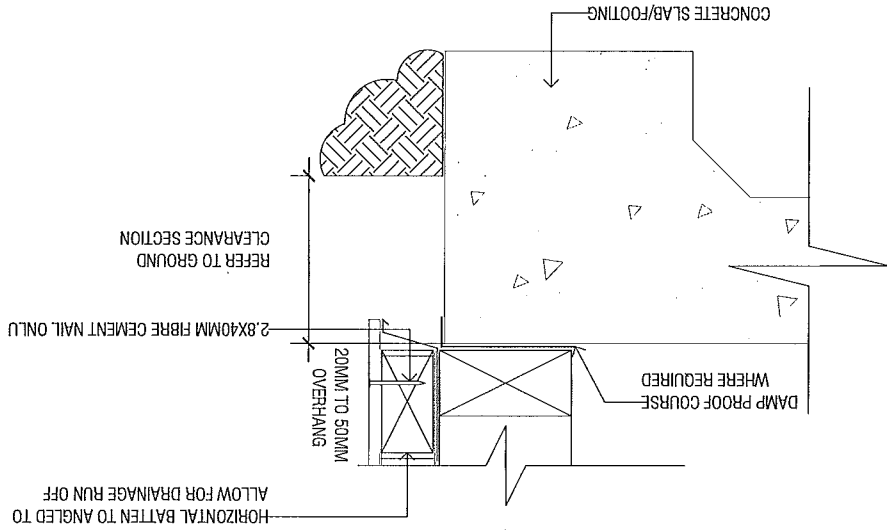
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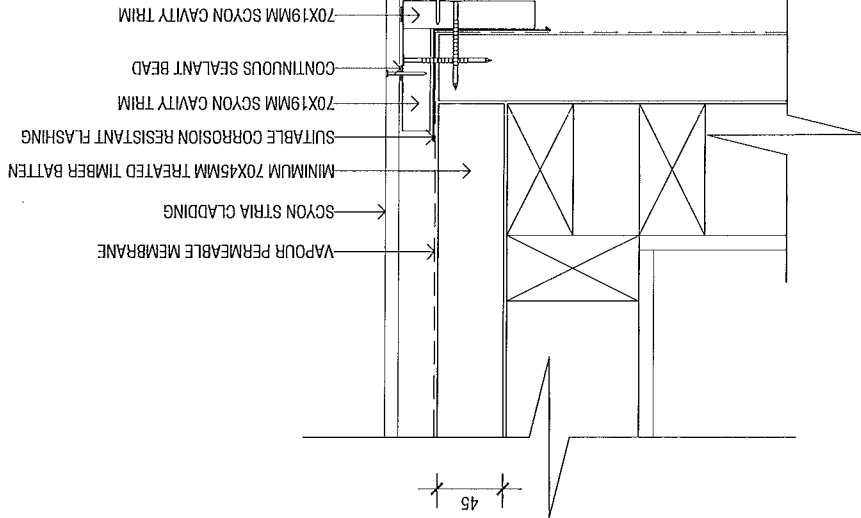
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SCALE 1:5



SCALE 1:5



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CLIENT:

GLEN VOLLEBREGET

PROJECT:

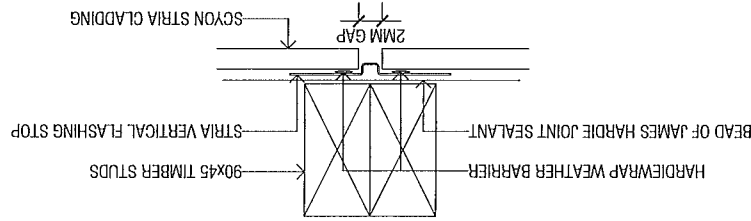
PROPOSED DEVELOPMENT

ADDRESS:

17A GAMEAU RD
PARADISE, SA

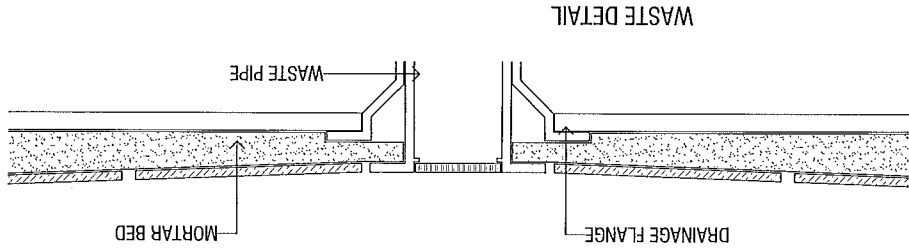
THREESIXTYVE
DESIGN STUDIO

SCALE 1:5

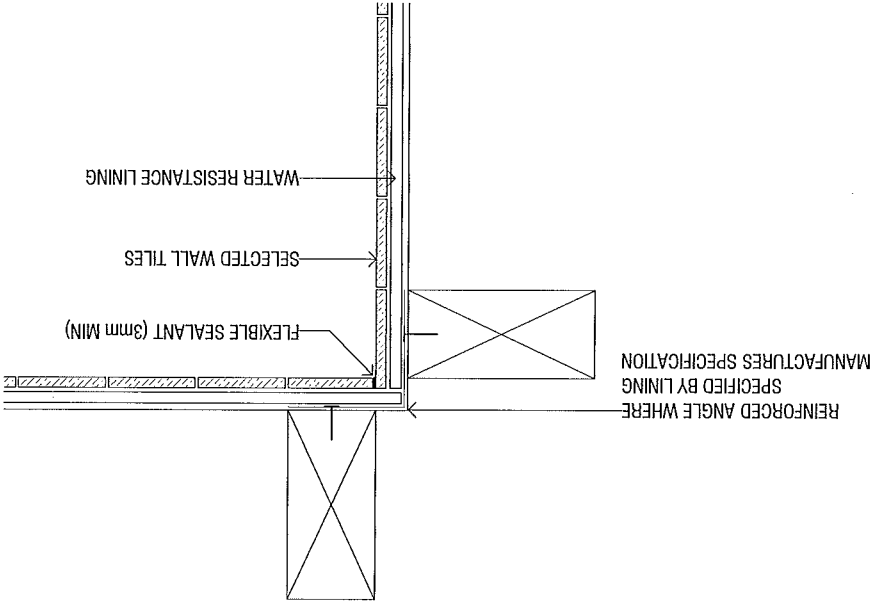


REFER TO RELEVANT/CURRENT JAMES
HARDIE TECHNICAL LITERATURE FOR
PRODUCT INSTALLATION AND MAINTENANCE
RECOMMENDATIONS

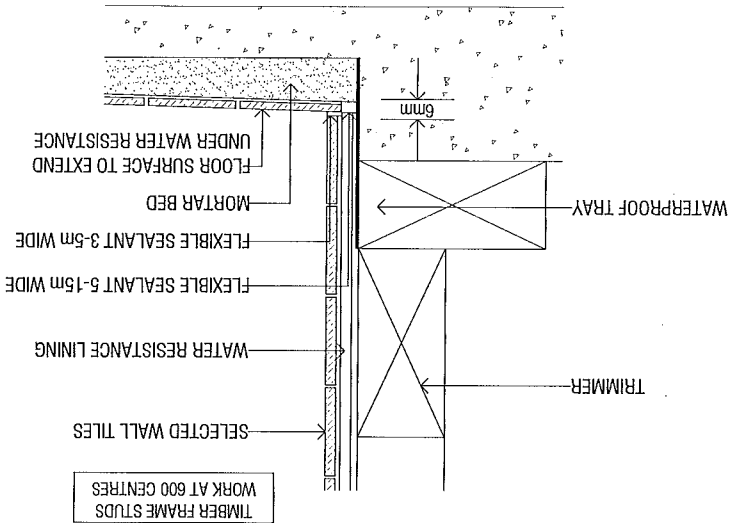
DETAILS



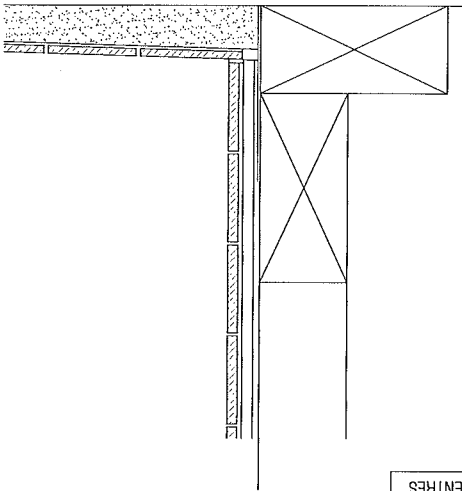
IMPERVIOUS WALL CORNER JUNCTION



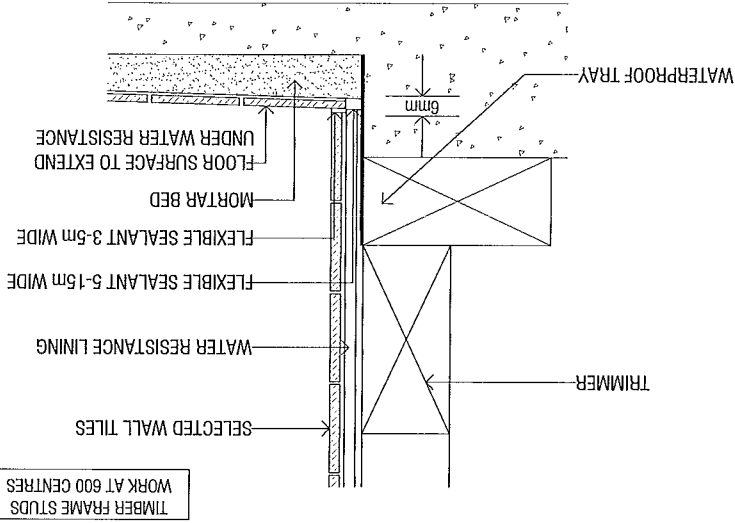
WATERPROOFING SHOWER WALL AND FLOOR JUNCTIONS (EXTERNAL TRAY)



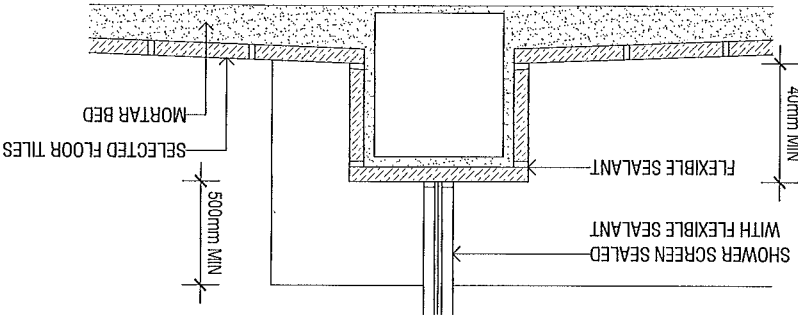
JUNCTION OF IMPERVIOUS WALL & IMPERVIOUS FLOOR - CATEGORY 2



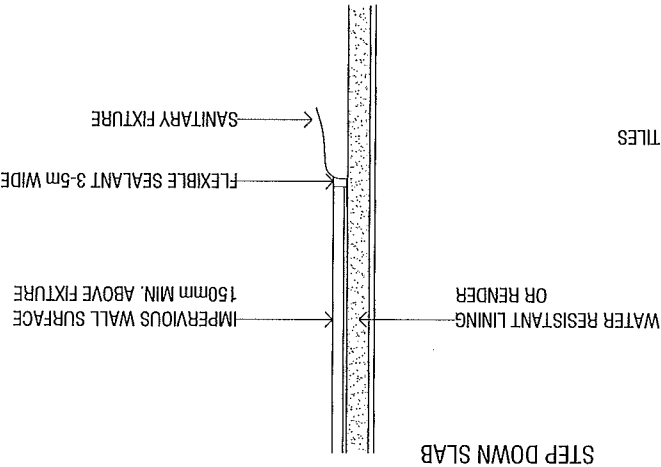
WATERPROOFING SHOWER WALL AND FLOOR JUNCTIONS (INTERNAL TRAY)



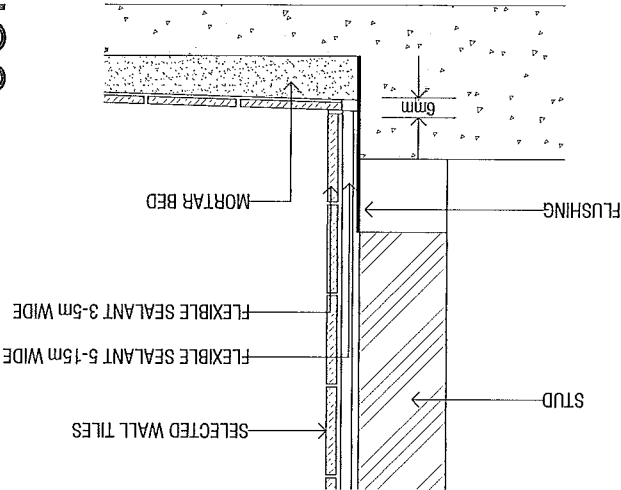
SHOWER HOB



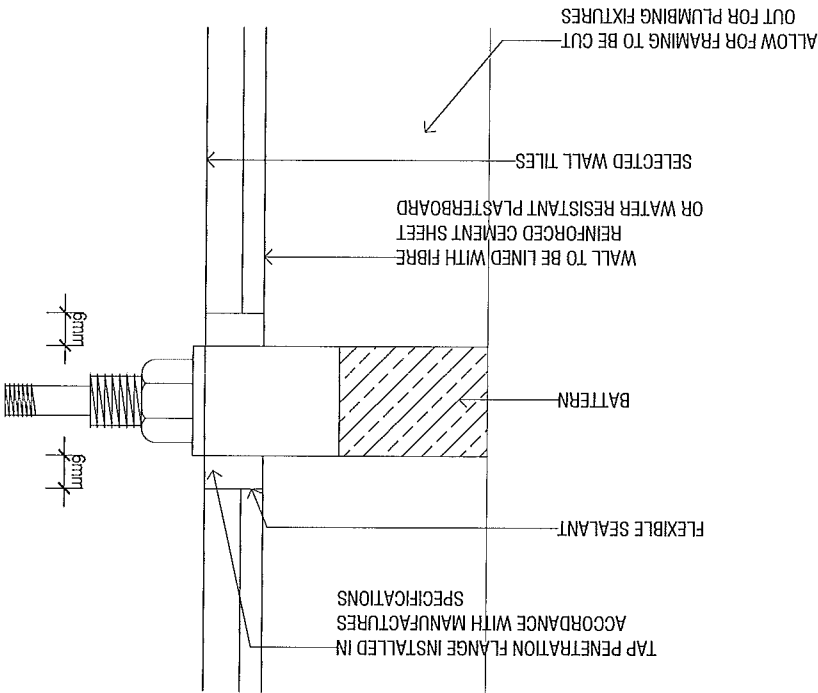
IMPERVIOUS JUNCTION OF FIXTURE & IMPERVIOUS WALL



STEP DOWN SLAB



SECTION THROUGH TAP INSTALLATION



PRELIMINARY DRAWINGS

ThreeSixFive
DESIGN STUDIO

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DRAWING NO: 21 of 21

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